

SECOND FLOOR DEMOLITION PLAN

GENERAL NOTES:

1. CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL INCLUSIVE. CONTRACTOR SHALL INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

- 2. CONTRACTOR SHALL CONSULT WITH THE OWNER IN ADVANCE OF DOING WORK, TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS REMOVED DURING DEMOLITION.
- 3. PROVIDE TEMPORARY DUST BARRIERS, BARRICADES, ETC. BY ICREA REGULATIONS TO PROTECT PERSONNEL AND ADJACENT SPACES ASW REQUIRED OR SHOWN ON DRAWINGS. WHERE USED IN FIRE RATED WALLS OR PARTITIONS, THE TEMPORARY CONSTRUCTION SHALL MATCH FIRE RATING.
- 4. WHERE EXISTING CONSTRUCTION (I.E., PARTITIONS, FLOORS, BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, HVAC, ELECTRICAL AND PLUMBING FIXTURES) IS REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITIÓN OR ALTERATION WORK AND PREPARE TO RECEIVE NEW CONSTRUCTIONS AND/OR PROVIDE NEW SCHEDULED FINISHES OR NEW FINISHES TO MATCH EXISTING ADJACENT.
- 5. WHERE NEW CONSTRUCTION OCCURS IN EXISTING WALLS OR PARTITIONS WHICH ARE FIRE RATED, MATERIALS USED SHALL BE SUFFICIENT TO MAINTAIN FIRE RATING.
- 6. WHERE PARTITIONS ARE REMOVED AT COLUMNS AND WALLS, EXISTING FINISH AROUND COLUMNS SHALL BE REMOVED, COLUMNS SHALL REMAIN AND NEW CONSTRUCTION AND FINISHED SHALL BE APPLIED TO MATCH NEW ADJACENT AND/OR SIMILAR CONDITIONS. MAINTAIN EXISTING RATING FOR COLUMN ENCLOSURES.
- 7. UNLESS NOTED OTHERWISE, REMOVE EXISTING PROJECTIONS, HANGERS, BOLTS, NAILS, BRACKETS, CURTAIN RODS, VALANCES, ETC. FROM EXISTING WALLS AND COLUMNS. PATCH ALL HOLES TO MATCH ADJACENT SURFACES AND/OR PROVIDE NEW SCHEDULED FINISHES.
- 8. AT NEW DOORS, CORRIDOR OPENINGS OR CONNECTIONS AND WHERE PARTITIONS ARE REMOVED, REMOVE EXISTING FLOORING AND BASES TO EXTENT REQUIRED TO PROVIDE A SMOOTH TRANSITION. PATCH AND TREAT THE SUBSURFACE TO ELIMINATE "TELEGRAPHING" OF EXISTING JOINTS THROUGH THE NEW FLOORING.
- 9. REMOVE SUSPENDED ACOUSTIC TILE AND/OR PLASTER CEILING TO EXTENT REQUIRED TO ACCOMMODATE NEW HVAC, PLUMBING AND ELECTRICAL WORK IN THE SPACES WHERE SUCH WORK IS SHOWN ON MECHANICAL AND ELECTRICAL DRAWINGS. AFTER HVAC, PLUMBING AND ELECTRICAL WORK IS COMPLETE, AND IF NEW CEILING IS NOT REQUIRED BY FINISH SCHEDULE, PATCH AND REPAIR CEILING TO MATCH ADJACENT CEILING. COMPLETE REMOVAL OF CEILINGS FOR OTHER REASONS IS INDICATED ON DEMOLITION DRAWINGS.
- 10. UNLESS OTHERWISE NOTED ON DOCUMENTS, PAINTING SHALL BE FROM A BREAK IN PLANE TO A BREAK IN PLANE REGARDLESS OF AREA ACTUALLY REPAIRED OR DISTURBED. WHERE EXISTING OR NEW CERAMIC TILE OCCURS WITHIN A SCHEDULED PAINT FINISH AREA, CERAMIC TILE SHALL REMAIN UNPAINTED.
- 11. UTILITIES SHOWN ON DEMOLITION DRAWINGS SHALL BE REMOVED BY INDIVIDUAL TRADES (E.G., FIXTURE REMOVAL, CAPPING, ETC., TO BE BY PLUMBING CONTRACTOR) AND ARE INDICATED HERE FOR PURPOSED OF SCOPE, SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES. MECHANICAL, PLUMBING AND/OR ELECTRICAL FIXTURES REQUIRED TO BE REMOVED OR RELOCATED DUE TO NEW CONSTRUCTION AND/OR DEMOLITION OF EXISTING CONSTRUCTION SHALL BE REMOVED AND/OR RELOCATED BY THE RESPECTIVE TRADES.

- 12. WHERE DRAWINGS CALL FOR REMOVAL OF EXISTING HVAC, PLUMBING AND ELECTRICAL FIXTURES OR EQUIPMENT, REMOVE ABANDONED SERVICES AND REROUTE OR CAP BEHIND LINE OF NEW CONSTRUCTION AND FINISHES. EXISTING AND NEW UTILITIES SHALL BE CONCEALED BY NEW CONSTRUCTION. IF NO NEW CONSTRUCTION IS INDICATED AT LOCATION OF REMOVAL, REPAIR AND INFILL ANY CAPS OR DAMAGE LEFT IN EXISTING FINISHES. MATCH ADJACENT MATERIAL SURFACE AND FINISH. SEE HVAC. PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES.
- 13. DUCTS, PIPES AND ELECTRICAL CONDUIT TO REMAIN AND EXPOSED IN FINISHED SPACES SHALL BE CONCEALED IN NEW AND/OR EXISTING CONSTRUCTION. NEW DUCTS, PIPES, AND CONDUITS SHALL BE CHASED INTO WALLS AND FINISHED TO MATCH ADJACENT SURFACES. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES.
- 14. NEW ELECTRICAL AND FIRE ALARM DEVICES, NEW FURRING AND THEIR ATTENDANT CONDUITS SHALL BE RECESSED IN NEW AND/OR EXISTING WALLS. PROVIDE OPENINGS, PATCH TO MATCH ADJACENT SURFACES OR PROVIDE NEW SCHEDULED FINISHES. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION WITHIN RESPECTIVE TRADES.
- 15. DUCT, PIPE AND CONDUIT HOLES IN THE FLOOR, EITHER EXISTING OR RESULTING FROM DEMOLITION OR NEW WORK REQUIREMENTS, SHALL BE FILLED IN SOLID WITH
- 16. PATCH EXISTING DAMAGE TO WALLS, COLUMNS, FLOORS AND CEILINGS THAT ARE TO REMAIN. REPAIRS SHALL MATCH EXISTING ADJACENT AND/OR SIMILAR SURFACES AND
- 17. WHERE CERAMIC FLOORING EXISTING IN SPACES TO RECEIVE NEW FINISH, REMOVE EXISTING CERAMIC TILE AND SETTING BED AND FILL WITH UNDERLAYMENT AS REQUIRED TO RECEIVE NEW FINISHES. WALL TILE SHALL BE REMOVED AND EXISTING SURFACES PREPARED AND/OR NEW SURFACE INSTALLED TO ACCEPT NEW SCHEDULED FINISHES.
- 18. REMOVE EXISTING CORNER GUARDS AT LOCATIONS WHERE NEW PARTITIONS ABUT SUCH WALL OR COLUMN CORNERS. REPAIR WALL OR COLUMN AS REQUIRED AFTER REMOVAL.
- 19. SUSPENDED CEILINGS SHALL BE SUSPENDED FROM STRUCTURE. WHERE INDICATED TO BE REMOVED, EXISTING SUSPENDED CEILINGS SHALL BE REMOVED COMPLETELY TO ALLOW INSTALLATION OF NEW SUSPENDED SYSTEM TO EXISTING STRUCTURE.
- 20. ALL FLOORS SHALL BE PATCHED AND LEVELED ACCORDING TO SPECIFICATIONS AND MADE READY TO RECEIVE NEW FINISH.
- 21. COORDINATE WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SCOPE OF WORK FOR ADDITIONAL DEMOLITION, REMOVAL AND REPAIR.
- 22. NO VALVES SHALL BE TURNED OR BREAKERS SHUT OFF WITHOUT PERMISSION OF
- 23. ANY "DEADLEGS" CREATED BY DEMOLITION TO BE REMOVED BACK TO ACTIVE PIPE IN PLUMBING SYSTEM.
- 24. ALL HARDWARE REMOVED BY DEMOLITION IS TO BE TURNED OVER TO OWNER.

KEYED DEMOLITION NOTES:

1. REMOVE EXISTING PARTITIONS (AND DOORS/FRAMES/VISION PANELS WHERE SHOWN) FROM FLOOR TO STRUCTURE ABOVE, INCLUDING ANY WALL MOUNTED EQUIPMENT/ DEVICES. ELECTRICAL AND MECHANICAL TO BE REMOVED BY RESPECTIVE CONTRACTORS. PATCH ADJACENT WALLS AS REQUIRED. PREP TO RECEIVE NEW FINISHES. SEE CONSTRUCTION PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

1a. REMOVE EXISTING BEARING PARTITIONS AND PROVIDE STEEL HEADER FOR SUPPORT.

2. CONTRACTOR SHALL REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR AND FRAME. PATCH TO MATCH ADJACENT FINISHES, INCLUDING BASE, PAINT, ETC. OR PREP TO RECEIVE NEW FINISHES. (COORDINATE WITH DOOR AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.)

3. EXISTING FLOOR FINISHES TO REMAIN. FLASH PATCH AND PREP AS REQUIRED FOR INSTALLATION OF NEW FLOORING ON TOP OF EXISTING FLOORING MATERIALS. REMOVE EXISTING WALL BASE AND PREP WALL SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

3A. REMOVE EXISTING FLOORING AND CONCRETE UNDERLAYMENT FOR INSTALLATION OF NEW TILE. ALIGN SURFACES FOR SMOOTH TRANSITION AT PREVIOUSLY INSTALLED NEW DOOR OPENING.

4. REMOVE EXISTING WALL COVERING, FINISHES AND WALL BASE. REMOVE EXISTING CHAIR RAILS AND CORNER GUARDS WHERE APPLICABLE. PREP SURFACE TO RECEIVE NEW FINISHES.SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION. EXISTING WALL MOUNTED EQUIPMENT/ DEVICES TO REMAIN TO BE REMOVED AS REQUIRED AND REINSTALLED UPON COMPLETION OF WORK.

5. PLUMBING CONTRACTOR TO REMOVE ALL PLUMBING FIXTURES AND CAP LINES FOR FUTURE USE. REFER TO PLUMBING DWGS FOR ADDITIONAL INFORMATION. GENERAL CONTRACTOR TO REMOVE EXISTING MILLWORK, TOILET PARTITIONS, ACCESSORIES, WALL FINISHES, WAINSCOT, CERAMIC TILE FLOOR FINISH AND MORTAR SETTING BED ENTIRELY. PROVIDE CONCRETE FILL, FLASH PATCH AND LEVEL OUT EXISTING FLOOR AS REQUIRED FOR NEW FLOOR. PATCH EXISTING WALLS AND PREP TO RECEIVE NEW WALL FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

6. REMOVE EXISTING ACOUSTIC TILE CEILING AND GRID AND/OR PLASTER CEILING, INCLUDING ALL ASSOCIATED METAL FURRING CHANNELS AND SUPPORTS ENTIRELY. EXISTING ELECTRICAL FIXTURES, EXHAUST VENTS, WIRING, GRILLES, DUCTWORK, ETC., TO BE DISCONNECTED, REMOVED AND CAPPED AS REQUIRED BY THE RESPECTIVE CONTRACTORS PRIOR TO DEMOLITION OF CEILING BY G.C.

6A. REMOVE PORTION OF EXISTING CEILING GRID TO ALLOW FOR NEW ROOM CONFIGURATION. REMOVE ALL CEILING TILES TO BE REPLACED WITH NEW. SEE REFLECTED CEILING PLAN AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

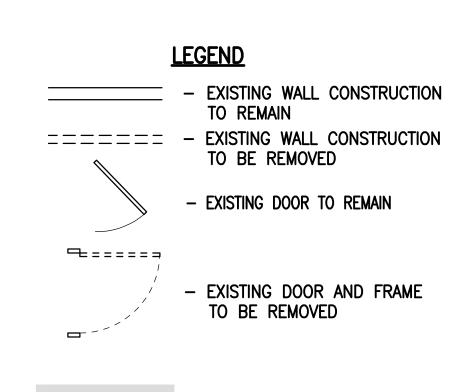
7. REMOVE EXISTING MILLWORK/CASEWORK AND ALL ASSOCIATED COMPONENTS ENTIRELY. PLUMBING CONTRACTOR TO REMOVE PLUMBING FIXTURES AND CAP LINES (WHERE APPLICABLE). ELECTRICAL AND MECHANICAL TO BE REMOVED BY RESPECTIVE CONTRACTORS. ANY DAMAGED AREAS TO BE REPAIRED. PATCHED AND PREPARED TO RECEIVE NEW FINISHES.

8. REMOVE EXISTING DOOR AND FRAME. PROVIDE NEW METAL STUD AND GYPSUM BOARD INFILL TO CLOSE OFF OPENING. ALIGN NEW WALL WITH EXISTING ADJACENT WALL SURFACE. PATCH AND PREPARE SURFACE TO RECEIVE NEW FINISHES. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.

8a.REMOVE EXISTING DOOR AND FRAME (TO BE REPLACED WITH NEW). PATCH AFFECTED SURFACES AND PREP TO RECEIVE NEW FINISHES.

9. REMOVE PORTION OF EXISTING TRANSOM WINDOW TO CREATE NEW ADJACENT WALL STRUCTURE. INFILL WITH NEW GYP. BD. AND PREP FOR NEW FINISHES.

10. REMOVE EXISTING UNIT VENTS. INFILL WALL AS REQUIRED.PREP SURFACE TO RECEIVE NEW FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.



- OUT OF SCOPE



Stantec Consulting Services Inc. 100 Motor Parkway, Suite 420

Hauppauge, N.Y. 11788-4008 Tel. 631.424.8600 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

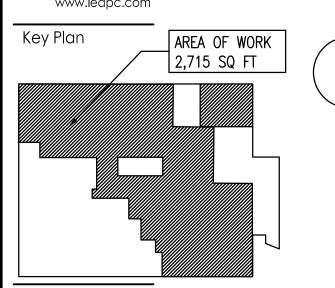
Consultants

Hauppauge, NY 11749 Phone: (631) 738-1200 Fax: (631) 285-6464 www.BohlerEngineering.com



Mechanical & Electrical Engineering 200 Old Country Road, Suite 670 Mineola, NY 11501

Phone: (516) 484-1020 Fax: (516) 484-0926 www.leapc.com



Appd. YY.MM.DD Revision GM BD 23.10.16 OMEGA ENVIRONMENTAL SERVICES GM BD 23.05.01
 GM
 BD
 22.12.09

 By
 Appd.
 YY.MM.DD
OMH FILING Issued File Name: 00004B_A-120 - Demolition Plan.dwa

Dwn. Chkd. Dsgn. YY.MM.DD

Permit-Seal

Client/Project

RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY SECOND FLOOR PROPOSED RENOVATION

Title

SECOND FLOOR DEMOLITION PLAN

Scale Project No. AS NOTED 225300004

Drawing No. Sheet

11 of 22

Revision