

GENERAL NOTES

GENERAL NOTES:

- 1. WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE DRAWINGS, ALL ADDENDA AND SITE INSTRUCTIONS ISSUED BY THE ARCHITECT.
2. WORK SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, ACCESSIBILITY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL DISCREPANCIES, VARIATIONS, OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO STANTEC ARCHITECTS INC.
3. THE CONTRACTOR SHALL COORDINATE, FILE, OBTAIN, AND PAY FEES FOR BUILDING DEPARTMENT AND OTHER AGENCY APPROVALS, PERMITS, AND INSPECTIONS. COPIES OF TRANSACTIONS ARE TO BE FORWARDED TO THE ARCHITECT AND OWNER PRIOR TO COMMENCING WORK.
4. THE CONTRACTOR SHALL ARRANGE FOR INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
5. ALL CODE REQUIRED EXITS, EXIT LIGHTS, EMERGENCY LIGHTING, ALARMS, SPRINKLERS SHALL BE MAINTAINED IN OPERABLE CONDITION THROUGHOUT THE CONTRACT PERIOD.
6. THE CONTRACT AREA SHALL REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION.
7. ALL WORK SHALL CONFORM TO OWNERS RULES AND REGULATIONS. THE CONTRACTOR SHALL COORDINATE ALL WORK, DELIVERIES AND STORAGE OF MATERIALS WITH THE OWNER INCLUDING ELEVATOR USAGE AND CLEARANCES, LOUD AND DISRUPTIVE NOISE, ACCESS TO THE BUILDING, AND TIMING.
8. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO CONSTRUCTION. STANTEC ARCHITECTURE INC. SHALL BE NOTIFIED OF ALL DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ALL WORK.
9. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WHICH IS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. THE CONTRACTOR MUST ASSURE PROPER FIT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT WITH DISCREPANCIES BEFORE COMMENCING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS BEFORE ORDERING EQUIPMENT AND MILLWORK.
10. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
11. THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF CONSTRUCTION AND SHALL SUBMIT TO THE ARCHITECT A SCHEDULE OF WORK WITHIN TEN DAYS AFTER AWARD OF CONTRACT FOR CONSTRUCTION. THE SCHEDULE SHALL INTEGRATE WORK BY OTHERS AND SHALL BE REISSUED TO THE ARCHITECT UPON MODIFICATION.
12. SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE REVIEWED. ANY REQUESTS FOR SUBSTITUTIONS SHALL BE CONSIDERED BY STANTEC ARCHITECTS INC. ONLY IF SHOWN TO BE ADVANTAGEOUS TO THE PROJECT. SUBMIT SUPPORTIVE INFORMATION FOR REVIEW.
13. THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF SHOP DRAWINGS, LEAD TIMES AND ORDER DATES. PROGRESS SHALL BE UPDATED BI-WEEKLY OR AS REQUESTED BY OWNER AT CONSTRUCTION MEETINGS, AND DOCUMENTED IN MEETING MINUTES, TO BE PREPARED AND ISSUED BY THE CONTRACTOR.
14. PROTECT THE BUILDING PREMISES AND OCCUPANTS ON PROJECT SITE FROM DAMAGE WITH TEMPORARY PROTECTIVE COVERS AND BARRIERS, DUST PROOFING, AND ANY ICRA REQUIRED PROTECTION. REPAIR ANY DAMAGE IN KIND AT NO ADDITIONAL COST TO THE PARTY AFFECTED.
15. SUBMIT SHOP DRAWINGS IN ELECTRONIC FORM VIA FTP SITE FOR ALL PRODUCT INFORMATION, CATALOG CUTSHEETS, AND DRAWINGS. ALL REQUIRED PHYSICAL SAMPLES SHALL BE SUBMITTED TO STANTEC ARCHITECTURE INC., AND A MINIMUM OF TWO COPIES OF ALL SAMPLES SHALL BE PROVIDED. STANTEC ARCHITECTURE INC. SHALL HAVE A MINIMUM OF 5 BUSINESS DAYS TO REVIEW ALL SUBMITTALS, UNLESS REQUESTED OTHERWISE BY THE CONTRACTOR AND OWNER.
16. CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT. THE ARCHITECT SHALL NOT REVIEW ANY SUBMITTAL WITHOUT THE CONTRACTOR'S SIGNED REVIEW STATEMENT.
17. SHOP DRAWING REVIEW IS FOR DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONS, COORDINATION WITH OTHER TRADES, AND MEANS.
18. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR THE COORDINATION OF WORK AND FOR THE WORK PERFORMED BY HIS SUBCONTRACTORS.
19. AT SUBSTANTIAL COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE OWNER FOR THE ON-SITE PUNCHLIST WORK THROUGH.
20. AT THE COMPLETION OF THE WORK, CLEAN ALL SIGHT-EXPOSED SURFACES, AND LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. REMOVE GREASE, DUST, DIRT, STAINS, LABELS, FINGERPRINTS AND OTHER FOREIGN MATERIALS FROM SIGHT-EXPOSED SURFACES. POLISH, PATCH AND TOUCH UP MARRED SURFACES TO SPECIFIED FINISH. CLEAN MECHANICAL EQUIPMENT, DUCT WORK AND REPLACE FILTERS. CLEAN ELECTRICAL WORK INCLUDING LIGHT FIXTURES AND WALL/CEILING DEVICES.
21. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF RECORD DRAWINGS TO THE OWNER AT THE COMPLETION OF WORK.
22. AT PROJECT COMPLETION AND PRIOR TO APPROVAL OF FINAL APPLICATION FOR PAYMENT CONTRACTOR TO DELIVER TO OWNER RECORD MAINTENANCE MANUALS, RECORD SAMPLE SUBMISSIONS, ETC.
23. THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE THE ALTERNATIVE INTO THE WORK. INCLUDE LABOR AND TAX AS A LINE ITEM FOR EACH ALTERNATE TOTAL COST. NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.

CONSTRUCTION NOTES:

- 1. DIMENSIONS ARE TAKEN TO FINISHED FACE OF GWB, INSIDE FACE OF DOOR/WINDOW JAMBS, TOP OF FINISHED FLOORS, AND BOTTOM OF FINISHED CEILINGS.
2. WHERE A WALL IS SHOWN IN ALIGNMENT WITH MORE THAN ONE COLUMN OR CORE ELEMENT WHICH ARE NOT ALIGNED, THE CONTRACTOR SHALL LAY OUT PARTITIONS ALONG THE ENTIRE LENGTH ALIGNING WITH THE FURTHEST PROJECTION, BUT MUST MAINTAIN ANY "HOLD" DIMENSIONS.
3. BASE BUILDING COLUMN GRIDS ARE SHOWN FOR DIMENSIONING, VERIFY EXACT LOCATIONS IN FIELD.
4. CONTRACTOR SHALL LAY OUT PARTITIONS FOR ARCHITECT TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF STUDS WITHOUT THIS REVIEW APPROVAL. CONTRACTOR SHALL COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT. REVIEW FOR DESIGN INTENT DOES NOT RELEASE CONTRACTOR FROM THE RESPONSIBILITY TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES.
5. CONTRACTOR SHALL FURNISH AND INSTALL FIRE-PROOF BLOCKING IN CEILINGS OR PARTITIONS AS REQUIRED FOR SUPPORT AND ATTACHMENT OF MILLWORK, EQUIPMENT, AND FIXTURES.
6. COORDINATE FINISH WALL DIMENSIONS WITH MILLWORK AND FURNITURE SYSTEM DIMENSIONS AS REQUIRED.
7. NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH WITH NO VISIBLE JOINTS UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL INSTALL FURRING TO ACCOMMODATE DEPTH OF FIRE EXTINGUISHER CABINETS AND OTHER ITEMS INDICATED ON DRAWINGS AS BUILT INTO GWB PARTITIONS. CONTRACTOR SHALL COORDINATE DEPTH AND SIZES OF RECESS REQUIRED WITH SPECIFIED EQUIPMENT.
9. CONTRACTOR MUST MAINTAIN ALL BUILDING CONSTRUCTION CLASSIFICATION FIRE RATING. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR MUST REPAIR SPRAY FIREPROOFING AS REQUIRED TO MAINTAIN REQUIRED RATINGS.
10. INSTALL ALL GWB VERTICALLY WITH NO HORIZONTAL JOINTS BETWEEN THE CEILING AND FLOOR. EDGES SHALL BE SUPPORTED ON FRAMING MEMBERS.
11. FINISH ALL EXPOSED GWB WITH A MULTIPLE STEP (MINIMUM 3) PROCESS AS PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS OR WITH REQUIREMENTS OF GYPSUM ASSOCIATION RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.
12. EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL TRIM. PROVIDE CORNER BEADS ALONG FULL LENGTH OF OUTSIDE CORNERS AND "L" BEADS ALONG EXPOSED EDGES OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
13. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS.
14. PROVIDE REQUIRED GLAZING ACCESSORIES, INCLUDING BUT NOT LIMITED TO GLAZING TAPE, NEOPRENE SETTING BLOCKS, NEOPRENE SPACER SHIMS AND SEALANT.
15. INSTALL GLASS USING FGMA STANDARDS FOR TYPE OF SYSTEM, AND REMOVE ALL NON-PERMANENT LABELS.

ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including AV, AC, AD, ADJ, AFF, AL, AP, ATTN, BD, BLDG, BLKG, BTM, BSMT, CAB, CW, CG, CL, CLOS, CLR, COL, CONC, CONST, CONT, CONST JT, CONTR, CORR, CJ, CMU, DIA, DIM, DN, DF, DTL, DWG(S), E, EA, EIFS, EXP JT, EL, EP, EPDM, EQ, EQIP, EWC, EXIST, EXT, FDN, FEC, FF, FGL, FIN, FL, FLUOR, FO, FRTW, FTG, FUR, FURN, GALV, GC, GFI, GA, GL, GRG, GWB, HC, HCD, HDW, HM, HP, HR, HSKP, HT, HVAC, INSUL, INT, JC, LAV, LP, LW, MAINT, MAX, MDF, MDO, MDO, MECH, MEZ, MIN, MFR, MR, MP, MTD, MTL, MWK, N, NIC, NO, NTS, OC, OH, OP, OPG, OPP, PDR, PLAM, PLYWD, PNL, PSGWY, PT, PNT, R, RD, REINF, REQD, RM, RWC, S, SECT, SSSL, SC, SIM, SPEC(S), SS, STD, STOR, STRUCT, SVS, TEL, THK, TLT, TOS, TOSL, TOW, TYP, TEMP, UNON, V, VCT, VIF, W, W/O, WD, WIN, WP, TOP OF WALL, TYPICAL, TEMPERED, UNLESS OTHERWISE NOTED, VOLT, VINYL COMPOSITION TILE, VERIFY IN FIELD, WEST, WITH, WITHOUT, WOOD (SOFT WOOD), WINDOW, WATER PROOFING/, WORK POINT.

ARCHITECTURAL SYMBOL LEGEND

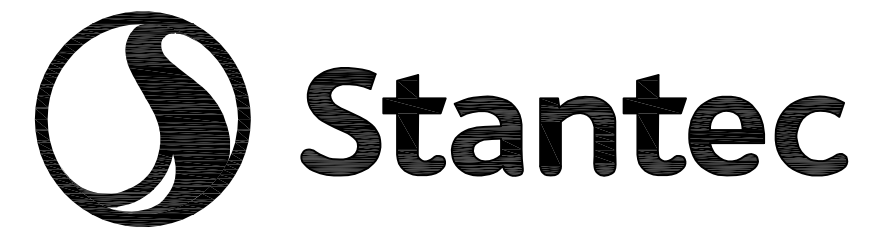
Architectural symbol legend table including symbols for door opening numbers (000-0), door opening numbers with frame types (100A ENVI), door types (F), demolition sheet notes (F), general sheet notes (1), room names (ROOM NAME 101 150 SF), window tags (00), and partition type tags (X).

GENERAL SYMBOL LEGEND

General symbol legend table including symbols for BLDG SECTION NUMBER (000), DRAWING NUMBER (A-XXX), WALL SECTION NUMBER (000), INTERIOR ELEVATION NUMBER (A-XXX), EXTERIOR ELEVATION NUMBER (000), DETAIL NUMBER OR ENLARGED AREA (A-500), REVISION AREA (cloud), REVISION # (A), NORTH ARROW (N), BREAKLINE (zigzag), MATCH LINE (dashed), and DRAWING REVISION (triangle).

REFLECTED CEILING LEGEND

Reflected ceiling legend table including symbols for existing and new light fixtures (2' x 4', 2' x 2', LED), emergency lights, diffusers, grilles, sprinkler heads, exit signs, smoke detectors, heat detectors, ceiling grids, exhaust ducts, curtain tracks, and gypsum board ceilings.



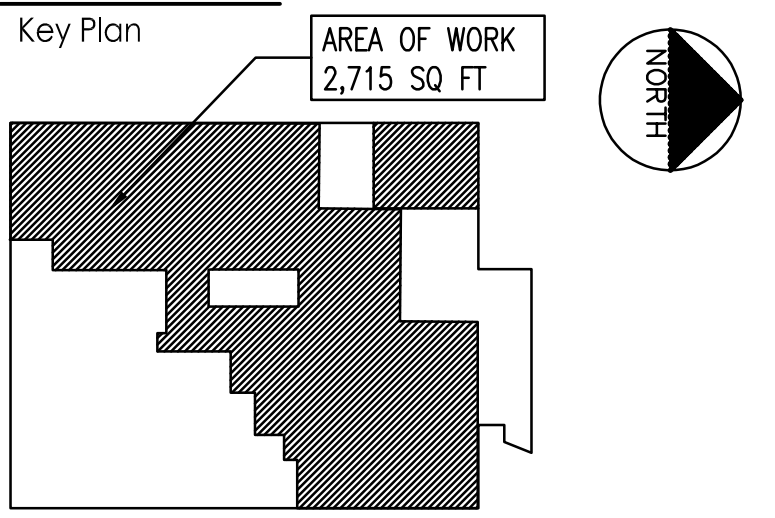
Stantec Consulting Services Inc.
100 Motor Parkway, Suite 420
Hauppauge, N.Y. 11788-4008
Tel. 631.424.8600
www.stantec.com

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Consultants

BOHLER
2929 Expressway Drive North
Hauppauge, NY 11749
Phone: (631) 738-1200
Fax: (631) 285-6464
www.bohlerengineering.com

Lizardos Mechanical & Electrical Engineering
200 Old Country Road, Suite 670
Mineola, NY 11501
Phone: (516) 484-1020
Fax: (516) 484-0926
www.leapc.com



Revision table with columns for Revision, By, Appd., and YY.MM.DD. Includes entries for DCB HUNG, OMEGA ENVIRONMENTAL SERVICES, and CMH FILING.

Permit-Seal

Client/Project: RICHMOND UNIVERSITY MEDICAL CENTER TRANSFORMATION GRANT

669 CASTLETON AVE, STATEN ISLAND, NY
SECOND FLOOR PROPOSED RENOVATION

Title

PROJECT STANDARDS

Project No. 225300004 Scale

Drawing No. Sheet Revision

A-000.00 3 of 22