GENERAL REQUIREMENTS

- 1. ALL DRAWINGS ARE TO BE READ, NOT SCALED
- 2. CONTRACTOR RESPONSIBILITY: CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS REQUIRED FOR CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- 3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT SERVICES, TOOLS, TRANSPORTATION, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE AND FULLY FUNCTIONAL PROJECT AS SHOWN ON THE DRAWINGS, REQUIRED IN THE SPECIFICATIONS, AND AS REQUIRED BY JOB CONDITIONS. CLOSELY COORDINATE THE ENTIRE INSTALLATION WITH THE OWNER, AS REQUIRED. FIELD VERIFY THE EXACT TYPE, SIZE AND LOCATION ETC. OF EXISTING PIPE AND SERVICES IN THE SPACE.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT EACH OTHER AND ANY MATERIAL OR LABOR CALLED FOR IN ONE SHALL BE PROVIDED EVEN THOUGH NOT SPECIFICALLY MENTIONED IN BOTH. ANY MATERIAL OR LABOR WHICH IS NEITHER SHOWN ON THE DRAWINGS NOR CALLED FOR IN THE SPECIFICATIONS, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK AND WHICH IS USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE PROVIDED AS PART OF THE CONTRACT
- WHERE THE DRAWINGS OR SPECIFICATIONS REQUIRE ITEMS WHICH EXCEED CODES OR THE OWNERS CRITERIA, THE CONTRACTOR IS STILL RESPONSIBLE FOR PROVIDING THE SYSTEM AS
- REMOVAL AND RELOCATION OF CERTAIN EXISTING WORK SHALL BE NECESSARY FOR THE PERFORMANCE OF GENERAL WORK. ALL EXISTING CONDITIONS ARE NOT COMPLETELY DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL SURVEY THE SITE AND MAKE ALL 24. CONTRACTOR TO SECURE AND STORE APPROVED BUILDING PLANS
- NECESSARY MODIFICATIONS REQUIRED BASED ON EXISTING CONDITIONS. 7. ACTIVE BUILDING SERVICES ENCOUNTERED IN WORK SHALL BE PROTECTED AND SUPPORTED. ALL COSTS FOR REPAIR OF DAMAGES TO ACTIVE BUILDING SERVICES DURING CONSTRUCTION
- SHALL BE PAID FOR BY THE CONTRACTOR CAUSING THE DAMAGE 8. TIF-INS AND MODIFICATIONS TO FXISTING BUILDING SERVICES MUST BE DONE WITH MINIMUM INTERRUPTION OF OWNER OPERATION AND DURING HOURS SPECIFIED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING EXACT SCHEDULING OF THIS WORK WITH
- THE OWNER. 9. BEFORE COMMENCEMENT OF WORK THE CONTRACTOR SHALL VISIT THE PREMISES OF THE PROPOSED WORK AND SHALL CAREFULLY EXAMINE THE ENGINEERING DRAWINGS, EXISTING CONDITIONS AND LIMITATIONS THEREOF. VERIFICATION SHALL BE MADE AS TO THE ACTUAL LOCATIONS WHERE NEW EQUIPMENT AND STRUCTURES WILL BE ROUTED, COORDINATING WITH NEW AND EXISTING WORK AND PROVIDING CLEARANCES WITH STRUCTURAL MEMBERS. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO CONSTRUCTION
- 10. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL STRUCTURES AND EQUIPMENT AND INDICATE THE REQUIRED SIZES AND POINTS OF TERMINATION OF SAME. HOWEVER, IT I NOT THE INTENTION OF THE DRAWINGS TO SHOW ALL NECESSARY OFFSETS, OBSTRUCTIONS 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, OR STRUCTURAL CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK IN FULL COMPLIANCE WITH THE STRUCTURE. AVOID OBSTRUCTIONS, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR WITHOUT FURTHER CONSTRUCTION COST.
- CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND TEMPORARY CONSTRUCTION NECESSARY TO SAFEGUARD ALL PERSONS AND PROPERTY. ALL MACHINERY, TOOLS, SERVICE LINES, CONDUIT SHALL BE GUARDED, SHIELDED OR FABRICATED TO PROVIDE SAFETY AND PREVENT CONTACT BY THE PUBLIC.
- 12. CONTRACTOR SHALL MAINTAIN STRUCTURAL INTEGRITY OF ADJOINING WALLS, GROUNDED PROPERTY AND PROTECT SAME FROM INJURY. CONTRACTOR SHALL DETERMINE LOCATION AND PROTECT SAME FROM INJURY. CONTRACTOR SHALL DETERMINE LOCATION AND PROTECT AND SAFEGUARD ALL UTILITIES ON AND ADJACENT TO THE SITE. NOTIFY UTILITY COMPANIES AFFECTED BY WORK AT LEAST SEVENTY- TWO HOURS BEFORE COMMENCEMENT
- 13. ALL EXISTING SPACES SHALL BE KEPT CLEAN, CLEAR AND ACCESSIBLE DURING ALL CONSTRUCTION. PREMISES SHALL BE LEFT BROOM CLEAN AT END OF CONSTRUCTION 14. THE CONTRACTOR SHALL PROVIDE METHODS AND EQUIPMENT FOR PROTECTING EXISTING BUILDING. ALL MATERIALS AND PERSONNEL FROM FIRE DAMAGE PRIOR TO AND DURING WORK. FIRE PROTECTION AND PREVENTION DURING THE CONSTRUCTION PERIOD SHALL BE
- IN ACCORDANCE WITH ALL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, THE LATEST NFPA REGULATIONS AND ALL OTHER AUTHORITIES HAVING JURISDICTION. 15. THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS INCLUDING, BUT NOT LIMITED TO PROVISIONS, AND REQUIREMENTS OF THE OCCUPATIONAL
- SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND/OR THE CONSTRUCTION SAFETY ACT OF 1969, AS AMENDED. 16. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEETING AND DE-WATERING
- REQUIRED FOR SAFE AND PROPER EXECUTION OR THE WORK. lding department notes:

1 THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS

FACILITIES, SECTION 27-128[C26-105.2] 2 ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT

SHALL MEET THE FOLLOWING REQUIREMENTS: (A.) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OR (B.) SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER OR (C.) APPROVED BY THE

STANDARDS AND APPEALS, SECTION 27-131[C26-106.2] 3 AT LEAST 24 HOUR WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE COMMENCEMENT OF WORK, SECTION 27-195[C26-118.5]

4 FIVE DAYS PRIOR NOTICE SHALL BE GIVEN TO ADJOINING LOT OWNERS AFFECTED BY FOUNDATION, EARTHWORK OR DEMOLITION, SECTIONS 27-165[C26-112.3] & 27-169[C26-133.3] 5 NO WORK TO BE DONE BEYOND BUILDING LINES WITHOUT APPROVAL OF THE DEPARTMENT OF

6 ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLX WITH ONE OF THE FOLLOWING: (A.) IT SHALL CONFORM WITH NBFU "FIRE RESISTANCE RATINGS" - 1. WHERE TRADE NAMES AND MANUFACTURERS ARE USED ON THE DRAWINGS OR IN DECEMBER 1964 OR, (B.) IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E-119-1961, "STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS" AND ACCEPTED BY THE COMMISSIONER, OR, (C.) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.

7 FIRESTOPPING SHALL BE AS REQUIRED BY THE NEW YORK CITY BUILDING CODE, SECTION 27-345[C26-504.7]

8 ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. 9 ALL VENT DUCT SHAFTS SHALL BE ENCLOSED WITH 2 HOUR ENCLOSURE. NO DUCT VENTS TO PASS THROUGH STAIR ENCLOSURES. 1-1/2 HOUR AUTOMATIC CLOSING FIRE DAMPERS TO BE INSTALLED IN VENT DUCTS WHEN THEY PIERCE PUBLIC CORRIDORS.

10 CONDUITS IN FIRE—RATED PARTITIONS WILL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN SUCH PARTITIONS WILL BE BACKED UP WITH APPROVED MATERIALS. 11 NO CONDUITS, PIPES, ETC., SHALL ENCROACH UPON FIRE RATED PARTITIONS ENCLOSING STAIRS, ELEVATOR SHAFTS OR VENT SHAFTS. 12 PIPE SPACE AND WALL FURRING SHALL CONSIST OF METAL CHANNELS AND 5/8" GYPSUM WALL BOARD EXCEPT AS OTHERWISE SHOWN.

13 ALL DUCT SHAFTS SHALL BE ENCASED WITH 2 HOUR FIRE RATING. 14 INSPECTION DURING PROGRESS OF WORKS: (A.) THE COMMISSIONER MAY ACCEPT SIGNED

STATEMENTS BY ARCHITECTS AND ENGINEERS AND SUPPORTING INSPECTIONS AND TEST REPORTS WITHOUT VERIFYING INSPECTION OR TEST BY DEPARTMENT INSPECTORS PER C-120.5. 15 ALL PERMITS ISSUED BY THE DEPARTMENT OF BUILDINGS SHALL BE POSTED IN A CONSPICUOUS PLACE OPEN TO THE PUBLIC INSPECTION FOR THE ENTIRE TIME OF THE PROSECUTION OF THE WORK OF THE USE AND OPERATION OF THE EQUIPMENT OR UNTIL THE EXPIRATION OF THE PERMIT. 16 PROVISION FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVEL'S SHALL BE INCLUDED.

17 CONTINUATION OF ESSENTIAL SERVICES AS REQUIRED BY THE N.Y.C. BUILDING CODE. 18 NO WORK WILL BE DONE WHERE POTENTIAL DAMAGE TO OCCUPANTS DUE TO STRUCTURAL WORK

19 PLANS SUBMITTED BY THE APPLICANT SHALL SHOW COMPLIANCE WITH THE ABOVE ITEMS DURING

20 WORK SHALL COMPLY WITH LOCAL 58 AND BARRIER FREE DESIGN ADA GUIDLINES 21 EXISTING LIGHTING AND EXIT SIGNAGE SHALL COMPLY WITH NEW YORK CITY BUILDING CODE, SECTIONS: 27-381[C26-605.1] AND 27-383[C26-606.1]

- 17. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, PLUMBING AND MECHANICAL) AFFECTED BY THE PROPOSED WORK. CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE FACILITY OR OTHER AREAS AFFECTED BY THE WORK.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TEMPORARY POWER. STORAGE AND SHELTER WHILE PERFORMING THE WORK INDICATED
- 19. PROJECT SCHEDULE SHALL BE PROVIDED WITHIN 7 CALENDAR DAYS OF NOTICE TO
- 20. LIEN RELEASE SHALL BE PROVIDED TO OWNER FOR CONTRACTOR AND SUBCONTRACTORS UPON COMPLETION OF WORK AND BEFORE FINAL PAYMENT.
- 21. CONTRACTOR SHALL PROVIDE A LIST OF ALL SUBCONTRACTORS HIRED TO PERFORM WORK ON THIS PROJECT. ENGINEER RESERVES THE RIGHT TO DISMISS UNQUALIFIED ON UNSAFE SUBCONTRACTORS WITHOUT PENALTY.
- DESIGNED AND DESCRIBED ON THESE DRAWINGS, UNLESS SPECIFICALLY NOTED OTHERWISE. 22. CONTRACTOR TO SUPPLY PROJECT SIGN WITH CONTRACT PHONE NUMBERS AS PER THE NYC DEPARTMENT OF BUILDINGS. 23. CONTRACTOR TO POST AND MAINTAIN WORK PERMIT.
 - ON SITE

ALL WORK SHALL BE PERFORMED IN A NEAT. PROFESSIONAL MANNER USING GOOD CONSTRUCTION PRACTICES, ALL WORK SHALL CONFORM TO THE OWNERS CRITERIA, NEW YORK CITY & STATE CODES AND ORDINANCES, SAFETY AND HEALTH CODES NFPA CODES, ENERGY CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. THE CONTRACTOR SHALL INQUIRE INTO AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. AFTER CONTRACT IS ISSUED, NO ADDITIONAL COST DUE TO CODE ISSUES SHALL BE REIMBURSED BY THE OWNER TO THE CONTRACTOR

PERMITS, INSPECTIONS AND FEES RELATED TO HIS WORK WHICH ARE NOT PROVIDED BY THE OWNER. SUCH AS, CRANE PERMITS, PLUMBING PERMITS, ELECTRICAL PERMITS, ETC.

DRAWINGS

- 1. DRAWINGS (PLANS, SPECIFICATIONS AND DETAILS) ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION AND INTENT OF THE WORK.
- 2. THE LAYOUT SHOWN ON THE DRAWINGS IS BASED ON A PARTICULAR MAKE OF EQUIPMENT. IF ANOTHER MAKE OF EQUIPMENT IS USED WHICH REQUIRES MODIFICATION OR CHANGE OF ANY DESCRIPTION FROM THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE AS PART OF THIS WORK FOR MAKING ALL SUCH MODIFICATIONS AND CHANGES. IN SUCH CASE, THE CONTRACTOR SHALL SUBMIT DRAWINGS AND SPECIFICATIONS PRIOR TO STARTING WORK SHOWING ALL SUCH MODIFICATIONS AND CHANGES. HIS PROPOSAL SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER/OWNER.

RECORD DRAWINGS

- THE CONTRACTOR SHALL MAINTAIN ONE COPY OF DRAWINGS AND SPECIFICATIONS ON THE JOB SITE TO RECORD DEVIATIONS FROM CONTRACT DRAWINGS, SUCH AS:
 - A. B. C. D. LOCATION OF CONCEALED PIPING VALVES AND DUCTS. REVISIONS, ADDENDUMS AND SIGNIFICANT DEVIATIONS MADE NECESSARY BY FIELD CONDITIONS APPROVED
- EQUIPMENT SUBSTITUTIONS 2. AT COMPLETION OF THE PROJECT AND BEFORE FINAL APPROVAL, THE CONTRACTOR

SHALL MAKE ANY FINAL CORRECTIONS TO DRAWINGS AND CERTIFY THE ACCURACY

OF EACH PRINT BY SIGNATURE THEREON. THE DRAWINGS ARE TO BE TURNED OVER TO THE OWNER.

DISCREPANCIES IN DOCUMENTS

1. DRAWINGS (PLANS, SPECIFICATIONS AND DETAILS) ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION AND INTENT OF THE SYSTEMS. WHERE DRAWINGS, EXISTING SITE CONDITIONS OR SPECIFICATIONS CONFLICT OR ARE UNCLEAR ADVISE THE ENGINEER/OWNER IN WRITING, PRIOR TO SUBMITTAL OF BID. OTHERWISE THE ENGINEER'S/OWNER'S INTERPRETATION OF CONTRACT DOCUMENTS OR CONDITIONS SHALL BE FINAL WITH NO ADDITIONAL COMPENSATION PERMITTED.

TRADE NAMES AND MANUFACTURERS

THE SPECIFICATIONS, THE EXACT EQUIPMENT SHALL BE USED AS A MINIMUM STANDARD FOR THE BASE BID. MANUFACTURERS CONSIDERED AS EQUAL OR BETTER IN ALL ASPECTS TO THAT SPECIFIED WILL BE SUBJECT TO APPROVAL IN WRITING BY THE ENGINEER/OWNER PRIOR TO ACCEPTANCE. THE USE OF ANY UNAUTHORIZED EQUIPMENT SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION SEQUENCE

1. CONTRACTOR SHALL PROVIDE ENGINEER WITH SEQUENCE OF CONSTRUCTION FOR ENGINEER REVIEW.

MEANS AND METHODS

· CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR MEANS & METHODS REQUIRED TO COMPLETE THE WORK INDICATED

OPERATIONS MANUALS THREE COPIES OF EACH OPERATION AND MAINTENANCE MANUAL FOR ALL EQUIPMENT FURNISHED ON PROJECT SHALL BE COLLECTED AND INSERTED IN A THREE-RING BINDER AND TURNED OVER TO THE OWNER. EACH NOTEBOOK SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION,

MAINTENANCE AND OPERATING INSTRUCTIONS, PAMPHLETS OR BROCHURES, PROJECT SUBMITTALS, APPROVED SHOP DRAWINGS AND WARRANTIES OBTAINED FROM EACH MANUFACTURER OR PRINCIPAL ITEMS OF EQUIPMENT SCHEDULING

1. WITHIN SEVEN (7) DAYS AFTER NOTICE TO PROCEED, CONTRACTOR SHALL PROVIDE OWNER WITH DETAILED SCHEDULE ACCORDING TO THE DATES NOTED HEREIN.

EXISTING BUILDING MAINTENANCE

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING BUILDING AND APPURTENANCES DURING CONSTRUCTION PHASE. ANY DAMAGE TO ITEMS EXISTING TO REMAIN SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION.

1. FOLLOW OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) REGULATIONS 29 CFR (CODE OF FEDERAL REGULATIONS) 1926 SUBPART P-EXCAVATION THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY CONTRACTOR NON COMPLIANCE.

GUARANTEE

- 1. MANUFACTURER: STANDARD MANUFACTURER'S GUARANTEE COVERING REPLACEMENTS FOR DEFECTIVE MATERIALS.
- 2. CONTRACTOR: WRITTEN GUARANTEE COVERING ALL MATERIALS, EQUIPMENT AND WORKMANSHIP TO FREE FROM FAULT AND DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE MAKE GOOD, WITHOUT COST TO THE OWNER, ANY OMISSION OR THE RESULT OF ANY NEGLIGENCE IN CONNECTION THEREWITH, OF ANY IMPROPER MATERIALS OR DEFECT WITHIN A GUARANTEE PERIOD. FURNISH A GUARANTEE COVERING ALL LABOR, MATERIALS AND EQUIPMENT TO REPAIR OR REPLACE AT NO COST TO AND AT THE CONVENIENCE OF THE OWNER, ANY AND ALL DEFECTS WHICH MAY APPEAR DURING THE PERIOD OF SAID GUARANTEE
- 3. SERVICE AND CONSTRUCTION: INCLUDE AS PART OF BID THE NECESSARY LABOR TO SERVICE THE SYSTEMS AND EQUIPMENT INSTALLED THROUGHOUT THE FIRST YEAR PERIOD. THIS CONTRACTOR SHALL INSTRUCT THE OWNER AND THEIR DESIGNATED PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF THE VARIOUS SYSTEMS.

1 ALL ADDITIONAL WORK MUST BE APPROVED BY OWNER PRIOR TO THE START OF WORK.

INSURANCE

- 1. NO WORK SHALL BEGIN WITHOUT PROPER INSURANCE AND PERMITS. REFER TO OWNER FOR INSURANCE REQUIREMENTS. CONTRACTOR IS TO LIST OWNER, HARRY C. FOSTERIS, P.E. AS ADDITIONAL INSURED AND PROVIDE A CERTIFICATE OF INSURANCE TO THE OWNER AND FOSTERIS ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
- 2. ANY VEHICLE AND/OR EQUIPMENT TO BE AT THE SITE SHALL BE FULLY INSURED AND APPROVED BY THE PROJECT ENGINEER OR OWNER.
- 3. SUBCONTRACTORS SHALL PROVIDE INSURANCE CERTIFICATES TO OWNER AND ENGINEER.
- 4. CONTACT OWNER FOR PRECISE INSURANCE LIMITS.

DELIVERY, STORAGE AND SEQUENCING

- 1. COORDINATE WITH CONSTRUCTION SCHEDULE.
- 2. DELIVER ITEMS INTACT, ASSEMBLED OR PACKAGED BY MANUFACTURER. 3. STORE IN DESIGNATED LOCATION, PROTECTED FROM THE ELEMENTS AND
- CONSTRUCTION ACTIVITIES. 4. STORE EQUIPMENT INSIDE BUILDING UPON DELIVERY.
- 5. REMOVE DAMAGED MATERIALS OR EQUIPMENT FROM SITE AND REPLACE WITH NEW UNDAMAGED MATERIAL OF SAME QUALITY AT NO CHANGE IN CONTRACT PRICE.
- 6. AVOID EXCESSIVE HANDLING OF FINISHED ITEMS.
- 7. COORDINATE WITH OTHER TRADES WHERE CRITICAL OR THE NATURE OF THE MATERIAL OR IT'S APPLICATION IS SUCH THAT THE WORK CANNOT BE ACCOMPLISHED WITHOUT DAMAGE TO THE WORK OF OTHER TRADES. COMPLY WITH CONSTRUCTION SCHEDULE
- 8. THE OWNER IS NOT RESPONSIBLE FOR DAMAGED OR STOLEN MATERIALS OR TOOLS.

IMPORTANT NOTES:

NOTHING IN THESE DOCUMENTS SHALL IMPOSE LIABILITY ON THE ARCHITECT/ENGINEER FOR CLAIMS, LAWSUITS, EXPENSES OR DAMAGES ARISING FROM, OR IN ANY MANNER RELATED TO THE EXPOSURE TO, OR THE HANDLING, MANUFACTURE OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, O HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE ENVIRONMENTAL PROTECTION

- ENGINEER OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE
- ENGINEER OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE

4. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE TO OBTAIN A PRELIMINARY STAKEOUT SURVEY INDICATING ALL LOT DIMENSIONS, SETBACKS AND GRADE ELEVATION PRIOR TO THE COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE SURVEY AND THESE PLANS.

5. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY AND ALL WORK TO BE PERFORMED AND COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS & PROCEDURES OF THE LATEST EDITION &

JURISDICTION FOR THE PROJECT SHOWED HEREIN. WIKTOR WASILEWSKI, P.E. AND IT'S PRINCIPAL/EMPLOYEES HAVE NOT BEEN RETAINED FOR ANY SUPERVISION OF THE ACTUAL CONSTRUCTION.

AMENDMENTS OF NYC BUILDING CODE(S), LOCAL LAWS, ORDINANCES AND AGENCIES ETC HAVING

	<i>31</i>	_		
	Progress Inspections		Inspections & Tests Coc	de Section
<u> </u>	<u> </u>		Structural Steel – Welding	BC 1704.3.1
	Table Reference in		Structural Steel - Details	BC 1704.3.2
	Inspection 1RCNY 5000-01(h)		Structural Steel – High Strength Bolting	BC 1704.3.3
	(1) and (2)	$ \times$	Structural Cold-Formed Steel	BC 1704.3.4
	Protection of exposed foundation insulation (IA1), (IIA1)		Concrete - Cast in Place	BC 1704.4
	Insulation placement and R values (IA2), (IIA2)		Concrete - Precast	BC 1704.4
	Fenestration u-factor and product rating (IA3), (IIA3)		Concrete - Prestressed	BC 1704.4
	Fenestration air leakage (IA4), (IIA4)	$ \times$	Masonry	BC 1704.5
	Fenestration areas (IA5), (IIA5)		Wood- Installation of High-Load Diaphragms	BC 1704.6.1
	Air sealing and insulation – visual (IA6), (IIA6)		Wood- Inst. of Metal Plate Connected Trusses	BC 1704.6.2
	Air sealing and insulation – testing (IA7)		Wood- Installation of Prefabricated I-Joists	BC 1704.6.3
	Loading deck weather seals (IIA8)		Subgrade Inspection	BC 1704.7.1
	Vestibules (IIA9)		Subsurface Conditions – Fill Placement &	BC 1704.7.2
	Fireplaces (IB1), (IIB1)		In-Place Density	BC 1704.7.3
	Shutoff dampers (IB2), (IIB2)		Subsurface Investigations (Borings/Test Pits) TR4	
	HVAC and service water heating equipment (IB3), (IIB3)		Deep Foundation Elements TR5	BC 1704.8
	HVAC and service water heating system controls (IB4), (IIB4)		Helical Piles (BB # 2014–020) ■TR5	H BC 1704.8.5
	HVAC insulation and sealing (IB5), (IIB5)		Vertical Masonry Foundation Elements	BC 1704.9
	Duct leakage testing (IB6), (IIB6)		Wall Panels, Curtain Walls, and Veneers	BC 1704.10
	Electrical energy consumption (IC1), (IIC1)		Sprayed Fire-Resistant Materials	BC 1704.11
	Lighting in dwelling units (IC2), (IIC2)		Mastic and Intumescent Fire–Resistant Coatings	BC 1704.12
	Interior lighting power (IIC3)		Exterior Insulation and Finish Systems (EIFS)	BC 1704.13
	Exterior lighting power (IIC4)		Alternative Materials – OTCR Buildings Bulletin #	BC 1704.14
	Lighting controls (IIC5)		Smoke Control Systems	BC 1704.15
	Electrical motors (IIC6)		Mechanical Systems	BC 1704.16
	Maintenance information (ID1), (IID1)		Fuel-Oil Storage and Fuel-Oil Piping Systems	BC 1704.17
	Permanent certificate (ID2)	_	High Pressure Steam Piping (Welding)	BC 1704.18
Ш	Solar Ready Requirements (ID3)	$oxed{oxed}$	High Temperature Hot Water Piping (Welding)	
	REQUIRED INSPECTIONS INDICATED BY 'X' IN LEFT COLUMN	<u> </u>	High Pressure Fuel Gas Piping (Welding)	BC 1704.19
			Structural Stability – Existing Buildings	BC 1704.20.1
	Progress Inspections		Excavations - Sheeting, Shoring & Bracing	BC 1704.20.2
H	Preliminary 28–116.2.1, BC 110.2	\vdash	Underpinning BC 1814 Mechanical Demolition	BC 1704.20.3
Н	Footing and Foundation BC 110.3.1	\vdash		BC 1704.20.4 BC 1704.20.5
H	Lowest Floor Elevation BC 110.3.2	\vdash	Raising and Moving of a Building Soil Percolation Test - Private On-Site Storm Water B	C 1704.21.1.2
Н	Structural Wood Frame BC 110.3.3		Drainage Disposal Systems, and Detention Facilities	C 1704.21.1.2
	Energy Code Compliance Inspections TR8 BC 110.3.5	\vdash	Private On-Site Storm Water Drainage Disposal	BC 1704.21.2
	Fire-Resistance Rated Construction BC 110.3.4		Systems, and Detention Facilities Installation	BC 1704.21.2
Н	Public Assembly Emergency Lighting 28–116.2.2	\vdash	Individual On-Site Private Sewage Disposal	BC 1704.22
\boxtimes	Final 28-116.2.4.2, BC 110.5,		Systems Installation	BC 1701.22
ľ	Directive 14 of 1975, and 1 RCNY SS101-10	H	Soil Percolation Test - Individual On-Site Private	BC 1704.22
NC	DTE:	1	Sewage Disposal Systems	DC 1701.22
	L MATERIALS DESIGNATED FOR CONTROLLED	\vdash	Sprinkler Systems	BC 1704.23
	SPECTIONS SHALL BE INSPECTED AND/ OR TESTED	H	Standpipe Systems	BC 1704.24
	VERIFY COMPLIANCE WITH CODE REQUIREMENTS		Heating Systems	BC 1704.25
	ILESS OTHERWISE SPECIFICALLY PROVIDED BY DDE PREVISIONS.	H	Chimneys	BC 1704.26
	DE FREVISIONS.		Fire-Resistant Penetrations and Joints	BC 1704.27
AL	L REQUIRED INSPECTIONS & TESTS OF MATERIAL		Aluminum Welding	BC 1704.28
	SHALL BE MADE AND/ OR WITNESSED BY OR UNDER		Flood Zone Compliance (attach FEMA elevation/dry	BC 1704.29
	ENGINEER BY OR ON BEHALF OF THE OWNER OR		floodproofing certificate where applicable)	BC G105
LĒ	SSEE		Luminous Egress Path Markings	
1704.I General where application is made for construction as			Emergency and Standby Power Systems (Generators)	BC 1704.31
	described in this section, one or more special inspectors shall		Post-Installed Anchors (BB # 2014-018, 2014-019)	BC 1704.32
be	employed by the owner to provide inspections during		Seismic Isolation Systems	BC 1707.8
СО	nstruction on the types of work listed under section 1704	\vdash	Comments Desired Miss	

Concrete Sampling and Testing

REQUIRED INSPECTIONS INDICATED BY 'X' IN LEFT COLUMN

Energy Code

and elsewhere in this code. The special inspector shall be

acceptable to the registered design professional of record.

Exception, special inspections are not required for building components unless the design involves the practice of

professional engineering or architecture as defined by the

education law of the State of New York and applicable

regulations governing the professional registration and

certification of engineers or architects.

Special Inspections

DRAWING LIST

indicated on plan.

SITE DATA

BLOCK No.

HOUSE No.

ZONING DISTRICT

OCCUPANCY GROUP

ZONING DISTRICT MAP# - 21A

JOB DESCRIPTION

LOT No.

T-001.00 TITLE PAGE, PLOT PLAN, SCOPE OF WORK. G-001.00 DETAIL PAGE RESIDENCE BUILDING FACADE RESIDENCE BUILDING FACADE

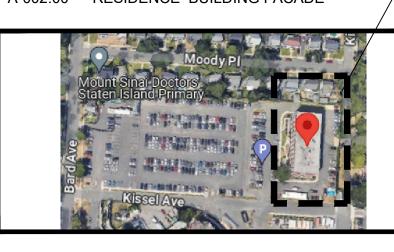
PROPOSED WORK LOCATION

Richmond University Medical Center

RESIDENCE BUILDING

288 KISSEL AVE.

STATEN ISLAND, NEW YORK



- 262

- 288

- R2

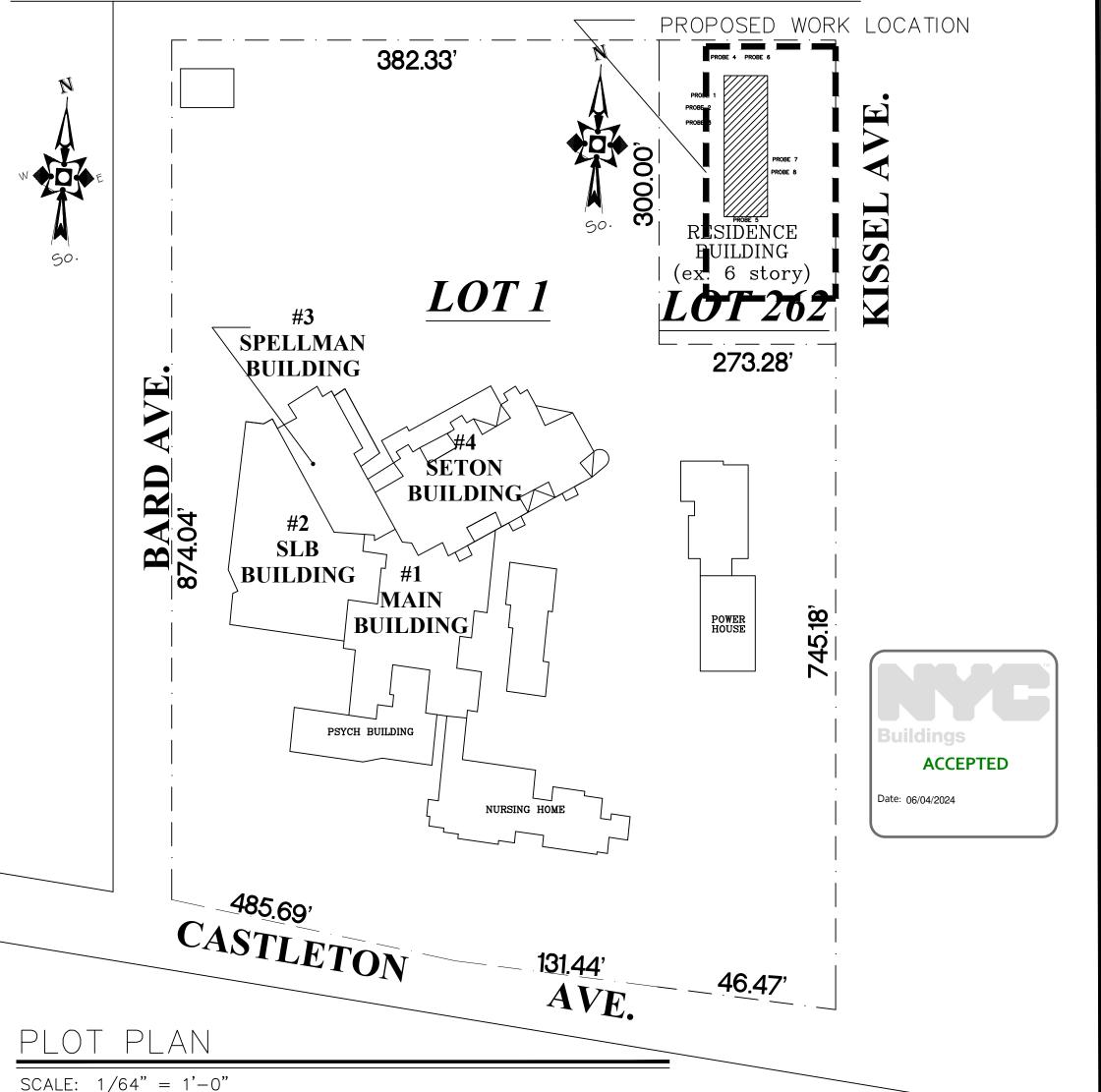
RES. OLD CODE

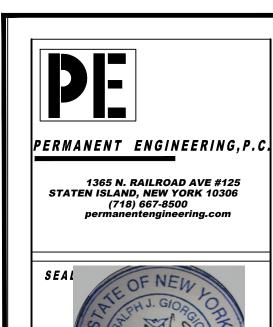
Facade restoration at existing six story Residence building.

Installation of masonry ties as perimeter of facade as

No change to use egress and or occupancy

MOODY PL.





REVISIONS:				
NO:	DATE:	DESCRIPTION		

Richmond University **Medical Center** 355 BARD AVE.

OWNER:

PROJECT: FACADE REPAIR RESIDENCE BLDG 288 KISSEL AVE

STATEN ISLAND

N.Y.

STATEN ISLAND

N.Y.

TITLE PAGE, SITE PLAN, SCOPE OF WORK.

DOB JOB No.

S01054203-I1 DRAWING #:

DATE: 5-2-2024 SCALE: AS NOT DRAWING BY: RR CHK BY: RJG

PROJ. NO. 18-59 | DWG. 1 OF 4

SCOPE OF WORK							
AN OUTLINE OF THE GENERAL BASE BID SCOPE OF WORK IS AS FOLLOWS:							
LEGEND	DETAIL	DESCRIPTION					
	1	INSTALLATION OF MASONRY WALL TIES— CTP STITCH—TIE TYPE 304 AS INDICATED DETAIL SEE PAGE G—001.0					
		SEE DETAIL 2 FOR PATTERN INSTALLATION AS PER NYC DOB CODE. ALL MASONRY HATCHING INDICATES TIE INSTALLATION.					
	2	MASONRY TIE INSTALLATION L 1-2 G-001.0 ADDITIONAL BRICK REPLACEMENT ONLY UPON AUTHORIZATION BY ENGINEER					

FACADE NOTES

- . WALL TIES SHALL BE 10MM X 12 INCHES MANUFACTURED BY HELIFIX, PROSOCO, OR ENGINEER APPROVED EQUAL.
- . WALL TIES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S APPROVED PROCEDURES, AND BE SPACED NO GREATER THAN 12 INCHES VERTICALLY, AND 16 INCHES HORIZONTALLY.
- . WALL TIES SHALL NOT BE INSTALLED WITHIN 16 INCHES VERTICALLY, OR HORIZONTALLY, OF WINDOW OR DOOR OPENINGS.
- . AFTER INSTALLATION OF EVERY ELEVATION OF WALL TIES, CONTRACTOR SHALL REQUIRE WALL TIE MANUFACTURER TO CONDUCT "PULL TESTS" ON 1 % OF WALL TIES TO CONFIRM STRUCTURAL ATTACHMENT. UPON PULL TEST FAILURE, WORK SHALL STOP. CONTRACTOR MUST ADVISE ENGINEER IMMEDIATELY. MANUFACTURER CERTIFIED PULL TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER.

MEANS AND METHODS

1. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR MEANS & METHODS REQUIRED TO COMPLET

OPERATIONS MANUALS

THREE COPIES OF EACH OPERATION AND MAINTENANCE MANUAL FOR ALL EQUIPMENT FURNISHED ON PROJECT SHALL BE COLLECTED AND INSERTED IN A THREE-RING BINDER AND TURNED OVER TO THE OWNER. EACH NOTEBOOK SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION, MAINTENANCE AND OPERATING INSTRUCTIONS, PAMPHLETS OR BROCHURES, PROJECT SUBMITTALS, APPROVED SHOP DRAWINGS AND WARRANTIES OBTAINED FROM EACH MANUFACTURER OR PRINCIPAL ITEMS OF EQUIPMENT.

SCHEDULING

1. WITHIN SEVEN (7) DAYS AFTER NOTICE TO PROCEED, CONTRACTOR SHALL PROVIDE OWNER WITH DETAILED SCHEDULE ACCORDING TO THE DATES NOTED HEREIN.

EXISTING BUILDING MAINTENANCE

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING BUILDING AND APPURTENANCES DURING CONSTRUCTION PHASE. ANY DAMAGE TO ITEMS EXISTING TO REMAIN SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION.

1. FOLLOW OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) REGULATIONS 29 CFR (CODE OF FEDERAL REGULATIONS) 1926 SUBPART P-EXCAVATION.
THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY CONTRACTOR NON COMPLIANCE.

GUARANTEE

- 1. MANUFACTURER: STANDARD MANUFACTURER'S GUARANTEE COVERING REPLACEMENTS FOR DEFECTIVE MATERIALS.
- 2. CONTRACTOR: WRITTEN GUARANTEE COVERING ALL MATERIALS, EQUIPMENT AND WORKMANSHIP TO FREE FROM FAULT AND DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. MAKE GOOD, WITHOUT COST TO THE OWNER, ANY OMISSION OR THE RESULT OF ANY NEGLIGENCE IN CONNECTION THEREWITH, OF ANY IMPROPER MATERIALS OR DEFECT WITHIN A GUARANTEE PERIOD. FURNISH A GUARANTEE COVERING ALL LABOR, MATERIALS AND EQUIPMENT TO REPAIR OR REPLACE AT NO COST TO AND AT THE CONVENIENCE OF THE OWNER, ANY AND ALL DEFECTS WHICH MAY APPEAR DURING THE PERIOD OF SAID GUARANTEE.
- 3. SERVICE AND CONSTRUCTION: INCLUDE AS PART OF BID THE NECESSARY LABOR TO SERVICE TH SYSTEMS AND EQUIPMENT INSTALLED THROUGHOUT THE FIRST YEAR PERIOD. THIS CONTRACTOR SHALL INSTRUCT THE OWNER AND THEIR DESIGNATED PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF THE VARIOUS SYSTEMS.

ADDITIONAL WORK

1 ALL ADDITIONAL WORK MUST BE APPROVED BY OWNER PRIOR TO THE START OF WORK.

INSURANCE

- 1. NO WORK SHALL BEGIN WITHOUT PROPER INSURANCE AND PERMITS. REFER TO OWNER FOR INSURANCE REQUIREMENTS. CONTRACTOR IS TO LIST OWNER, HARRY C. FOSTERIS, P.E. AS ADDITIONAL INSURED AND PROVIDE A CERTIFICATE OF INSURANCE TO THE OWNER AND FOSTERIS ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
- 2. ANY VEHICLE AND/OR EQUIPMENT TO BE AT THE SITE SHALL BE FULLY INSURED AND APPROVED E
- THE PROJECT ENGINEER OR OWNER.
- 4. CONTACT OWNER FOR PRECISE INSURANCE LIMITS.

DELIVERY, STORAGE AND SEQUENCING

3. SUBCONTRACTORS SHALL PROVIDE INSURANCE CERTIFICATES TO OWNER AND ENGINEER.

- 1. COORDINATE WITH CONSTRUCTION SCHEDULE.
- 2. DELIVER ITEMS INTACT, ASSEMBLED OR PACKAGED BY MANUFACTURER.
- 3. STORE IN DESIGNATED LOCATION, PROTECTED FROM THE ELEMENTS AND CONSTRUCTION ACTIVITIES.
- 4. STORE EQUIPMENT INSIDE BUILDING UPON DELIVERY.
- 5. REMOVE DAMAGED MATERIALS OR EQUIPMENT FROM SITE AND REPLACE WITH NEW UNDAMAGED
- MATERIAL OF SAME QUALITY AT NO CHANGE IN CONTRACT PRICE.
- 6. AVOID EXCESSIVE HANDLING OF FINISHED ITEMS. 7. COORDINATE WITH OTHER TRADES WHERE CRITICAL OR THE NATURE OF THE MATERIAL OR IT'S APPLICATION IS SUCH THAT THE WORK
- OTHER TRADES. COMPLY WITH CONSTRUCTION SCHEDULE. 8. THE OWNER IS NOT RESPONSIBLE FOR DAMAGED OR STOLEN

CANNOT BE ACCOMPLISHED WITHOUT DAMAGE TO THE WORK OF

MATERIALS OR TOOLS. IMPORTANT NOTES:

- 1. NOTHING IN THESE DOCUMENTS SHALL IMPOSE LIABILITY ON THE ARCHITECT/ENGINEER FOR CLAIMS, LAWSUITS, EXPENSES OR DAMAGES ARISING FROM, OR IN ANY MANNER RELATED TO THE EXPOSURE TO, OR THE HANDLING, MANUFACTURE OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY.
- 2. ENGINEER OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE
- 3. ENGINEER OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE
- 4. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE TO OBTAIN A PRELIMINARY STAKEOUT SURVEY INDICATING ALL LOT DIMENSIONS, SETBACKS AND GRADE ELEVATION PRIOR TO THE COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE SURVEY AND THESE PLANS.
- 5. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY AND ALL WORK TO BE PERFORMED AND COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS & PROCEDURES OF THE LATEST EDITION & AMENDMENTS OF NYC BUILDING CODE(S), LOCAL LAWS, ORDINANCES AND AGENCIES ETC HAVING JURISDICTION FOR THE PROJECT SHOWED HEREIN.
- WIKTOR WASILEWSKI, P.E. AND IT'S PRINCIPAL/EMPLOYEES HAVE NOT BEEN RETAINED FOR ANY SUPERVISION OF THE ACTUAL CONSTRUCTION.





STATEN ISLAND, NEW YORK 10306 (718) 667-8500



REVISIONS:

NO:	DATE:	DESCRIPTION:			

OWNER:

Richmond University **Medical Center** 355 BARD AVE. STATEN ISLAND N.Y.

PROJECT:

FACADE REPAIR RESIDENCE BLDG. 288 KISSEL AVE STATEN ISLAND N.Y.

DRAWING:

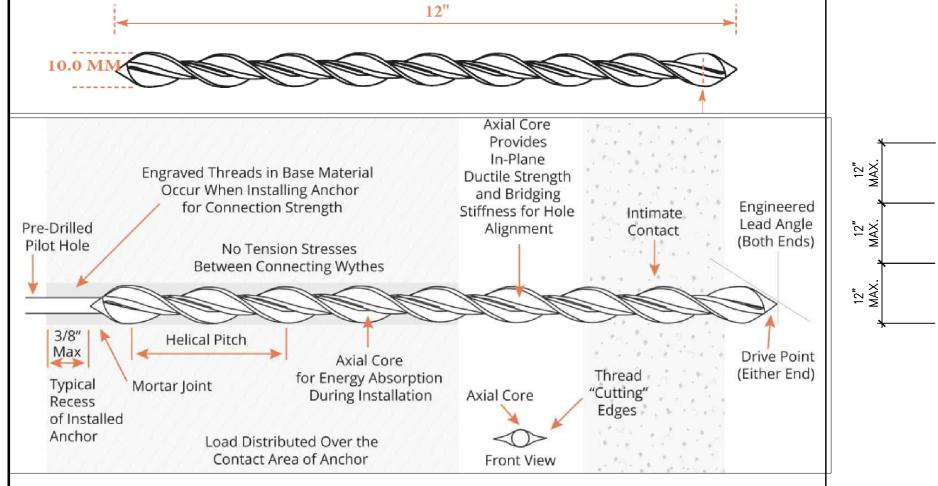
DETAILS

DOB JOB No. S01054203-I1

DRAWING #:

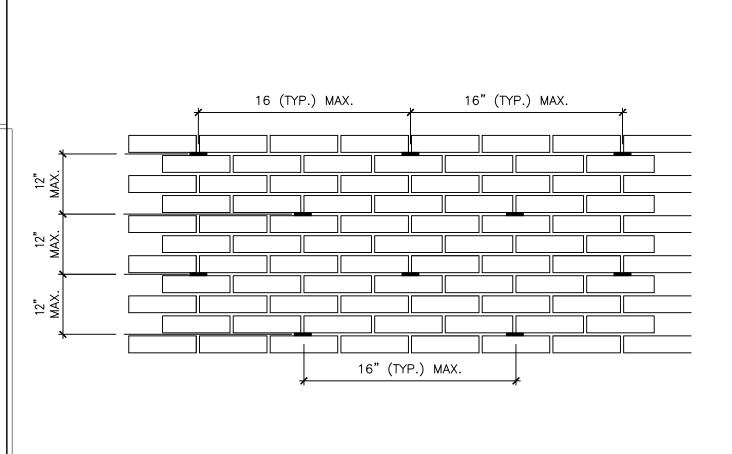
DATE: 5-2-2024 SCALE: AS NOT DRAWING BY: RR CHK BY: RJG

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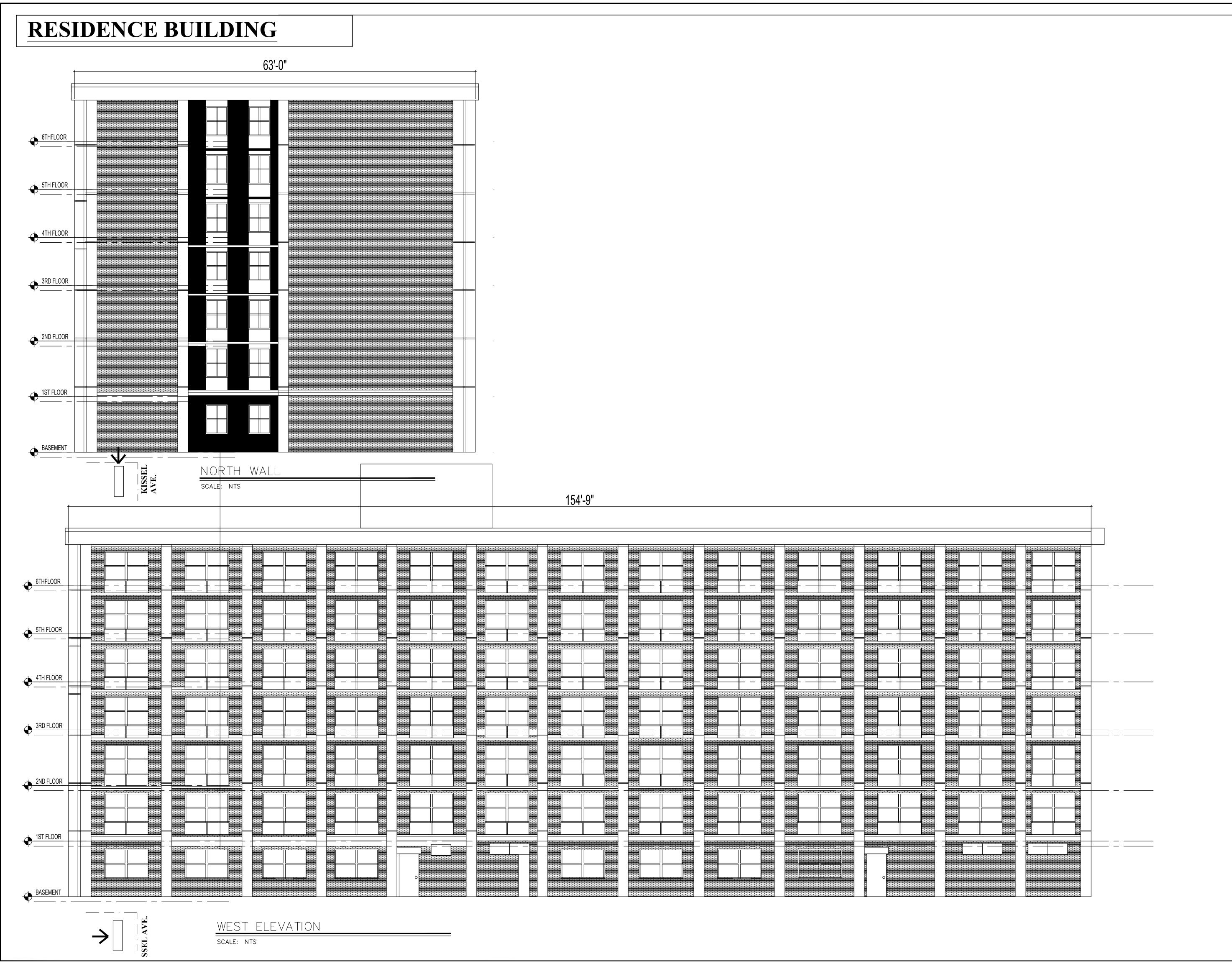


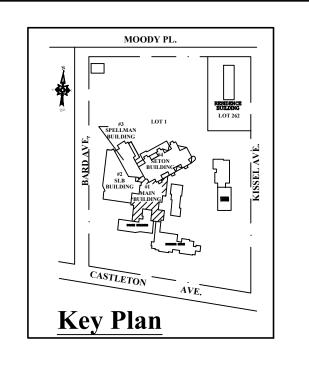
STITCH-TIE FINISH-304SS

MASONRY WALL TIE -DETAIL (SEE SPECIFICATION FOR WALL TYPE INSTALLTION DETAIL)

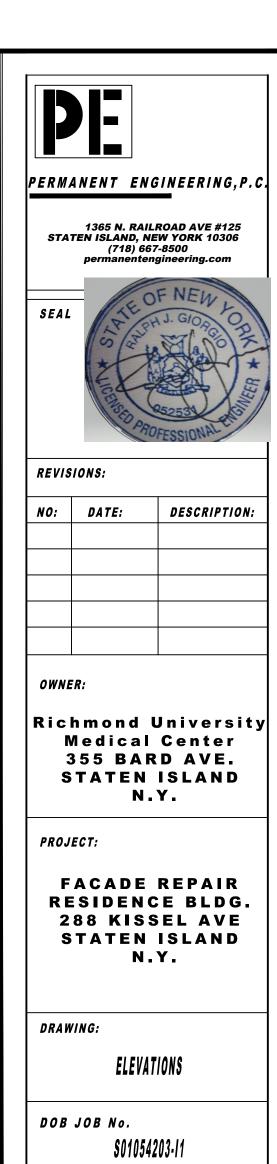


MASONRY TIE INSTALLATION PATTERN (TYP)









DRAWING #:

DATE: 5-2-2024 | SCALE: AS NOTE

DRAWING BY: RR | CHK BY: RJG

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