

SCOPE OF WORK

AN OUTLINE OF THE GENERAL BASE BID SCOPE OF WORK IS AS FOLLOWS:

LEGEND	DETAIL	DESCRIPTION
	1	INSTALLATION OF MASONRY WALL TIES- CTP STITCH-TIE TYPE 304 AS INDICATED DETAIL SEE PAGE G-001.0
	2	SEE DETAIL 2 FOR PATTERN INSTALLATION AS PER NYC DOB CODE. ALL MASONRY HATCHING INDICATES TIE INSTALLATION. MASONRY TIE INSTALLATION L 1-2 G-001.0 ADDITIONAL BRICK REPLACEMENT ONLY UPON AUTHORIZATION BY ENGINEER

FACADE NOTES

. WALL TIES SHALL BE 10MM X 12 INCHES MANUFACTURED BY HELIFIX, PROSOCO, OR ENGINEER APPROVED EQUAL.

. WALL TIES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S APPROVED PROCEDURES, AND BE SPACED NO GREATER THAN 12 INCHES VERTICALLY, AND 16 INCHES HORIZONTALLY.

. WALL TIES SHALL NOT BE INSTALLED WITHIN 16 INCHES VERTICALLY, OR HORIZONTALLY, OF WINDOW OR DOOR OPENINGS.

. AFTER INSTALLATION OF EVERY ELEVATION OF WALL TIES, CONTRACTOR SHALL REQUIRE WALL TIE MANUFACTURER TO CONDUCT "PULL TESTS" ON 1% OF WALL TIES TO CONFIRM STRUCTURAL ATTACHMENT. UPON PULL TEST FAILURE, WORK SHALL STOP. CONTRACTOR MUST ADVISE ENGINEER IMMEDIATELY. MANUFACTURER CERTIFIED PULL TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER.

MEANS AND METHODS

1. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR MEANS & METHODS REQUIRED TO COMPLETE THE WORK INDICATED

OPERATIONS MANUALS

1. THREE COPIES OF EACH OPERATION AND MAINTENANCE MANUAL FOR ALL EQUIPMENT FURNISHED ON PROJECT SHALL BE COLLECTED AND INSERTED IN A THREE-RING BINDER AND TURNED OVER TO THE OWNER. EACH NOTEBOOK SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION, MAINTENANCE AND OPERATING INSTRUCTIONS, PAMPHLETS OR BROCHURES, PROJECT SUBMITTALS, APPROVED SHOP DRAWINGS AND WARRANTIES OBTAINED FROM EACH MANUFACTURER OR PRINCIPAL ITEMS OF EQUIPMENT.

SCHEDULING

1. WITHIN SEVEN (7) DAYS AFTER NOTICE TO PROCEED, CONTRACTOR SHALL PROVIDE OWNER WITH DETAILED SCHEDULE ACCORDING TO THE DATES NOTED HEREIN.

EXISTING BUILDING MAINTENANCE

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING BUILDING AND APPURTENANCES DURING CONSTRUCTION PHASE. ANY DAMAGE TO ITEMS EXISTING TO REMAIN SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION.

OSHA REGULATIONS (STANDARDS-29CFR)

1. FOLLOW OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) REGULATIONS 29 CFR (CODE OF FEDERAL REGULATIONS) 1926 SUBPART P-EXCAVATION. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY CONTRACTOR NON COMPLIANCE.

GUARANTEE

1. MANUFACTURER: STANDARD MANUFACTURER'S GUARANTEE COVERING REPLACEMENTS FOR DEFECTIVE MATERIALS.
 2. CONTRACTOR: WRITTEN GUARANTEE COVERING ALL MATERIALS, EQUIPMENT AND WORKMANSHIP TO FREE FROM FAULT AND DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. MAKE GOOD, WITHOUT COST TO THE OWNER, ANY OMISSION OR THE RESULT OF ANY NEGLIGENCE IN CONNECTION THEREWITH, OF ANY IMPROPER MATERIALS OR DEFECT WITHIN A GUARANTEE PERIOD. FURNISH A GUARANTEE COVERING ALL LABOR, MATERIALS AND EQUIPMENT TO REPAIR OR REPLACE, AT NO COST TO AND AT THE CONVENIENCE OF THE OWNER, ANY AND ALL DEFECTS WHICH MAY APPEAR DURING THE PERIOD OF SAID GUARANTEE.

3. SERVICE AND CONSTRUCTION: INCLUDE AS PART OF BID THE NECESSARY LABOR TO SERVICE THE SYSTEMS AND EQUIPMENT INSTALLED THROUGHOUT THE FIRST YEAR PERIOD. THIS CONTRACTOR SHALL INSTRUCT THE OWNER AND THEIR DESIGNATED PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF THE VARIOUS SYSTEMS.

ADDITIONAL WORK

1. ALL ADDITIONAL WORK MUST BE APPROVED BY OWNER PRIOR TO THE START OF WORK.

INSURANCE

1. NO WORK SHALL BEGIN WITHOUT PROPER INSURANCE AND PERMITS. REFER TO OWNER FOR INSURANCE REQUIREMENTS. CONTRACTOR IS TO LIST OWNER, HARRY C. FOSTERIS, P.E. AS ADDITIONAL INSURED AND PROVIDE A CERTIFICATE OF INSURANCE TO THE OWNER AND FOSTERIS ENGINEERING PRIOR TO COMMENCEMENT OF WORK.

2. ANY VEHICLE AND/OR EQUIPMENT TO BE AT THE SITE SHALL BE FULLY INSURED AND APPROVED BY THE PROJECT ENGINEER OR OWNER.

3. SUBCONTRACTORS SHALL PROVIDE INSURANCE CERTIFICATES TO OWNER AND ENGINEER.

4. CONTACT OWNER FOR PRECISE INSURANCE LIMITS.

DELIVERY, STORAGE AND SEQUENCING

1. COORDINATE WITH CONSTRUCTION SCHEDULE.
 2. DELIVER ITEMS INTACT, ASSEMBLED OR PACKAGED BY MANUFACTURER.
 3. STORE IN DESIGNATED LOCATION, PROTECTED FROM THE ELEMENTS AND CONSTRUCTION ACTIVITIES.
 4. STORE EQUIPMENT INSIDE BUILDING UPON DELIVERY.
 5. REMOVE DAMAGED MATERIALS OR EQUIPMENT FROM SITE AND REPLACE WITH NEW UNDAMAGED MATERIAL OF SAME QUALITY AT NO CHANGE IN CONTRACT PRICE.

6. AVOID EXCESSIVE HANDLING OF FINISHED ITEMS.
 7. COORDINATE WITH OTHER TRADES WHERE CRITICAL OR THE NATURE OF THE MATERIAL OR IT'S APPLICATION IS SUCH THAT THE WORK CANNOT BE ACCOMPLISHED WITHOUT DAMAGE TO THE WORK OF OTHER TRADES. COMPLY WITH CONSTRUCTION SCHEDULE.
 8. THE OWNER IS NOT RESPONSIBLE FOR DAMAGED OR STOLEN MATERIALS OR TOOLS.

IMPORTANT NOTES:

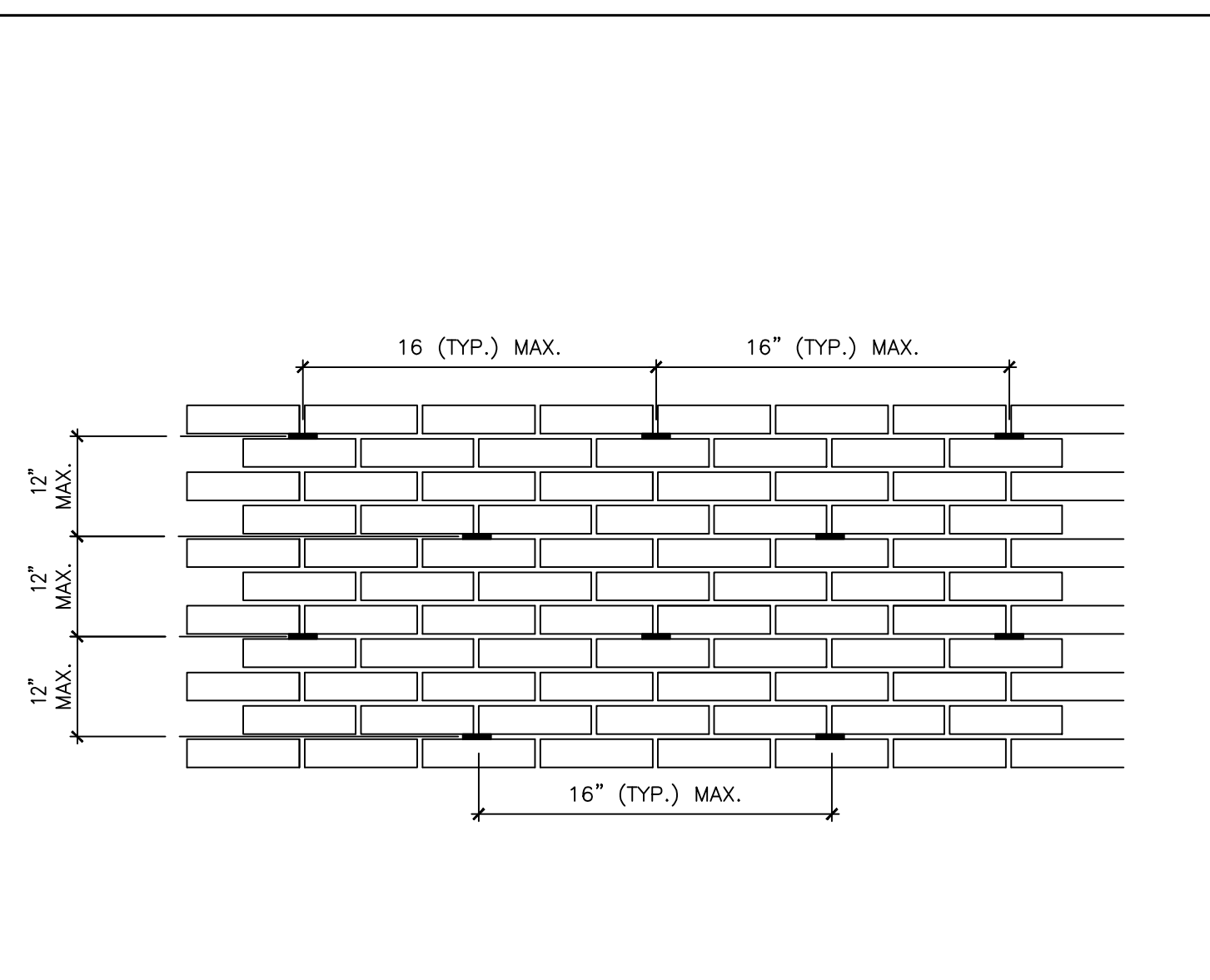
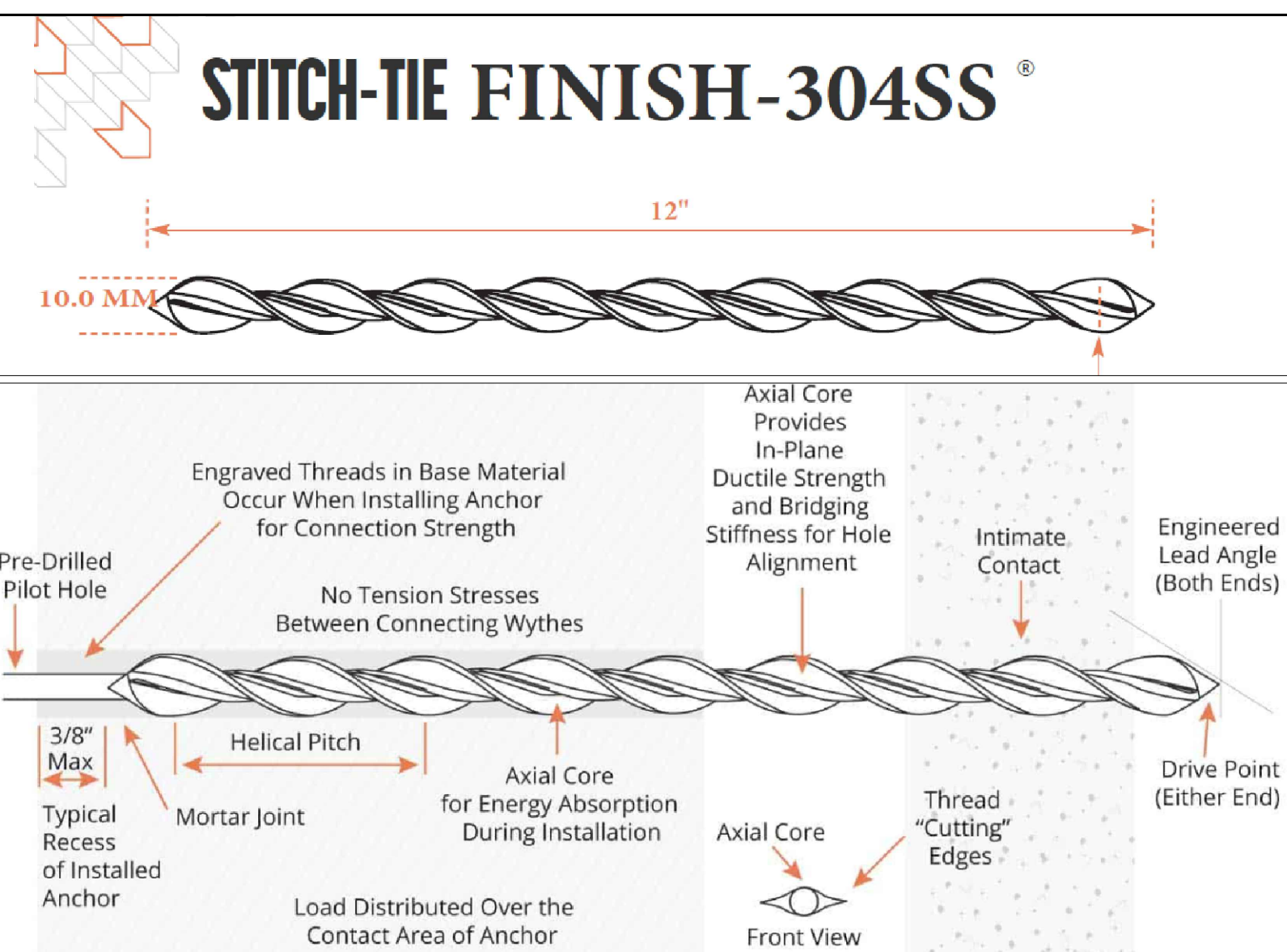
1. NOTHING IN THESE DOCUMENTS SHALL IMPOSE LIABILITY ON THE ARCHITECT/ENGINEER FOR CLAIMS, LAWSUITS, EXPENSES OR DAMAGES ARISING FROM, OR IN ANY MANNER RELATED TO THE EXPOSURE TO, OR THE HANDLING, MANUFACTURE OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, OR HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY.

2. ENGINEER OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF SAME, AT WHICH TIME APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COSTS OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE OWNER.

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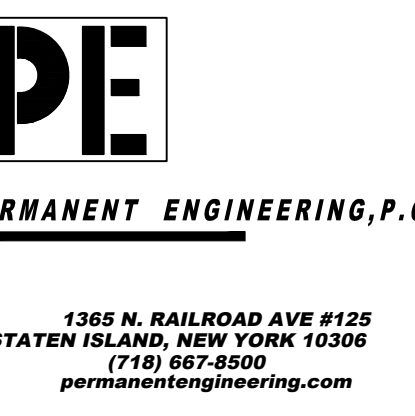
4. THE GENERAL CONTRACTOR/OWNER IS RESPONSIBLE TO OBTAIN A PRELIMINARY STAKEOUT SURVEY INDICATING ALL LOT DIMENSIONS, SETBACKS AND GRADE ELEVATION PRIOR TO THE COMMENCEMENT OF ANY WORK AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE SURVEY AND THESE PLANS.

5. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY AND ALL WORK TO BE PERFORMED AND COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS & PROCEDURES OF THE LATEST EDITION & AMENDMENTS OF NYC BUILDING CODE(S), LOCAL LAWS, ORDINANCES AND AGENCIES ETC HAVING JURISDICTION FOR THE PROJECT SHOWN HEREIN.
 WIKTOR WASILEWSKI, P.E. AND IT'S PRINCIPAL/EMPLOYEES HAVE NOT BEEN RETAINED FOR ANY SUPERVISION OF THE ACTUAL CONSTRUCTION.



1 MASONRY WALL TIE-DETAIL (SEE SPECIFICATION FOR WALL TYPE INSTALLATION DETAIL)
SCALE: NTS

2 MASONRY TIE INSTALLATION PATTERN (TYP)
SCALE: 1/12"=1'-0"



REVISIONS:

NO:	DATE:	DESCRIPTION:

OWNER:
**Richmond University
 Medical Center
 355 BARD AVE.
 STATEN ISLAND
 N.Y.**

PROJECT:
**FACADE REPAIR
 RESIDENCE BLDG.
 288 KISSEL AVE
 STATEN ISLAND
 N.Y.**

DRAWING:
DETAILS

DOB JOB No.
S01054203-11

DRAWING #:
G-001.00

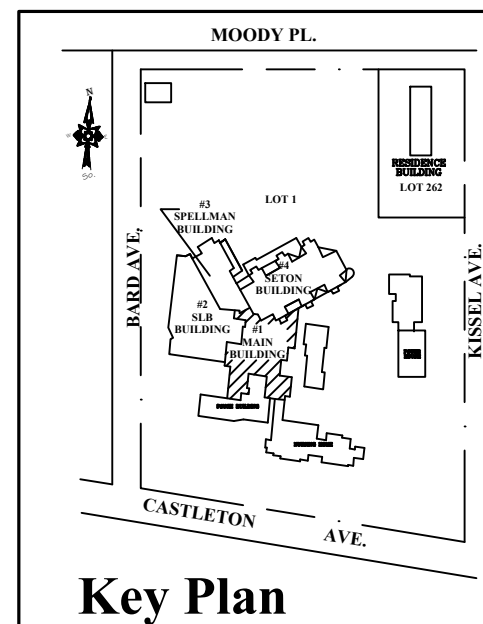
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DRAWING BY: RR	CHK BY: RJG
PROJ. NO. 18-59	DWG. 2 OF 4

RESIDENCE BUILDING

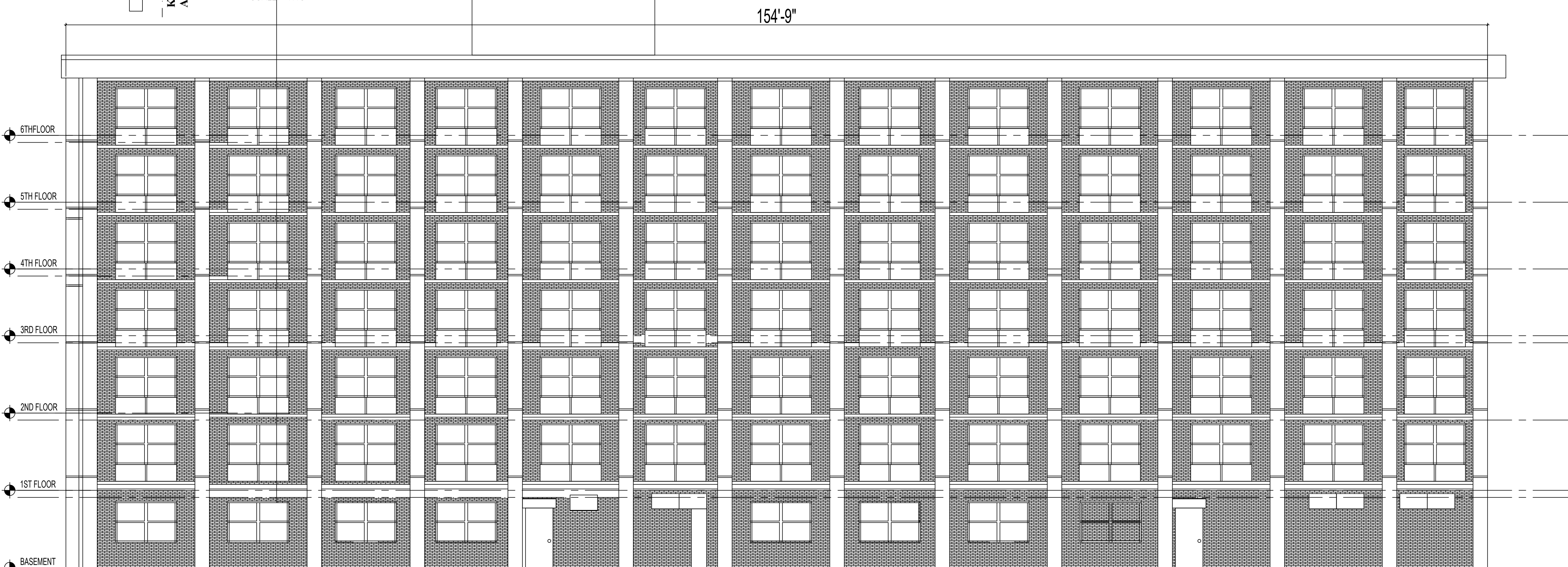


NORTH WALL

SCALE: NTS



Key Plan



WEST ELEVATION

SCALE: NTS



PERMANENT ENGINEERING, P.C.

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(718) 667-8500
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SEAL



REVISIONS:

NO.	DATE	DESCRIPTION

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Richmond University
Medical Center
355 BARD AVE.
STATEN ISLAND
N.Y.

PROJECT:

FACADE REPAIR
RESIDENCE BLDG.
288 KISSEL AVE
STATEN ISLAND
N.Y.

DRAWING:

ELEVATIONS

DOB JOB No.

S01054203-11

DRAWING #:

A-002.00

DATE: 5-2-2024

SCALE: AS NOTE

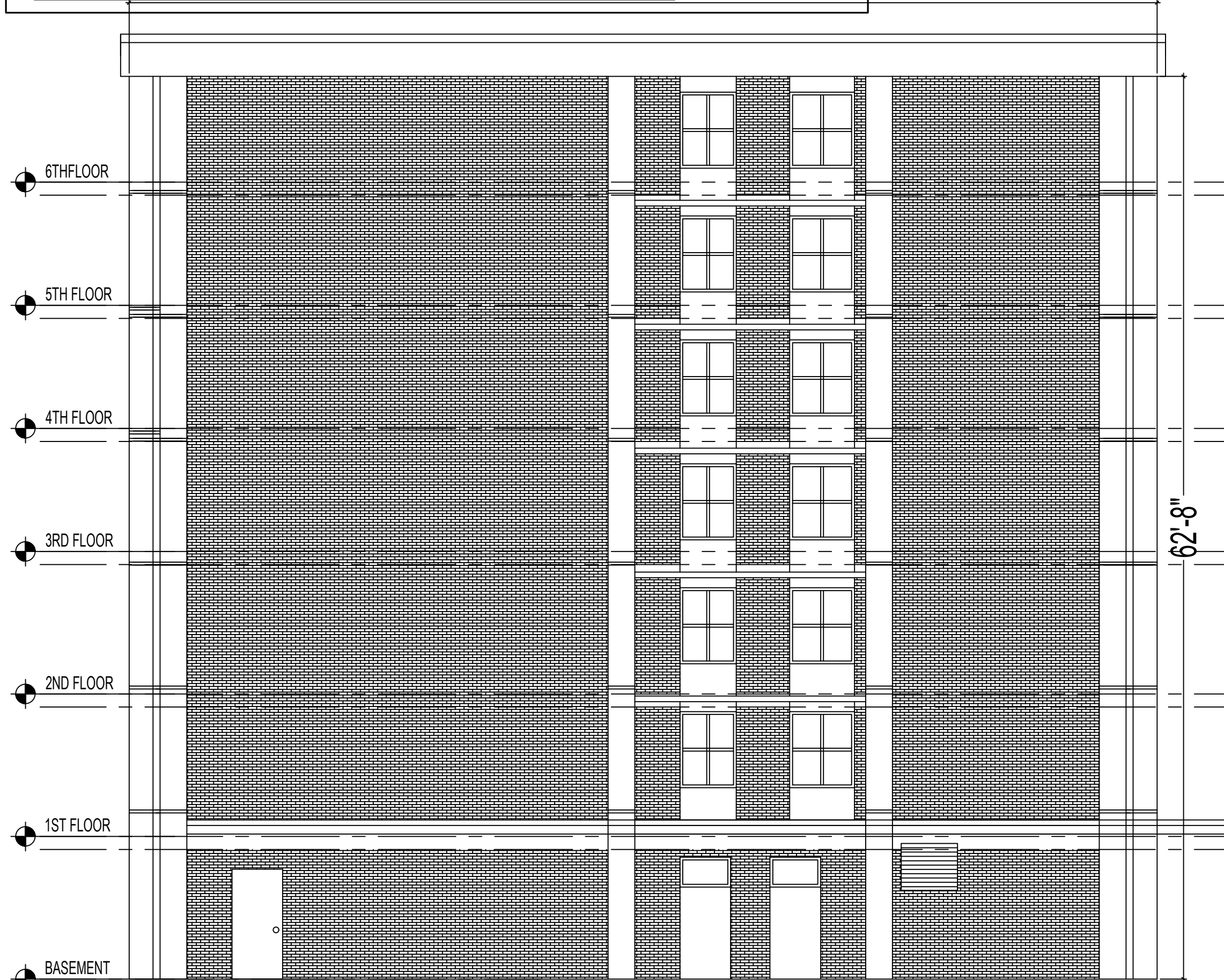
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CHK BY: RJG

PROJ. NO. 18-59

DWG. 3 OF 4

RESIDENCE BUILDING

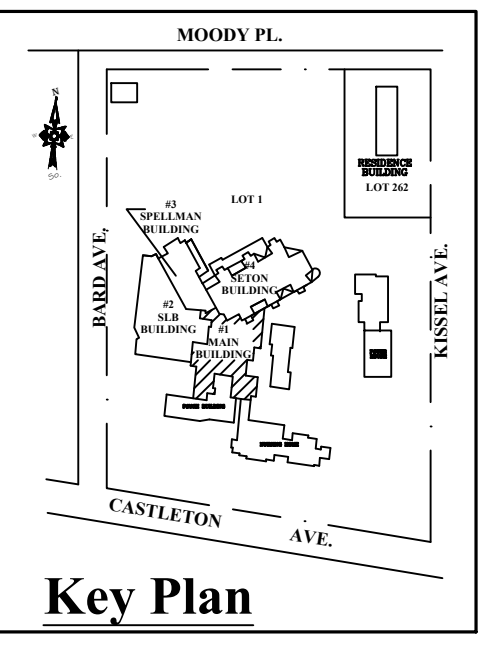


↑ KISSEL AVE. SOUTH WALL
SCALE: NTS

154'-9"



← KISSEL AVE. EAST WALL
SCALE: NTS



PE
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